



WESTTOWN TOWNSHIP

1039 Wilmington Pike
West Chester, PA 19382
(610) 692-1930

P.O. Box 79
Westtown, PA 19395
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www.westtownpa.org

February 9, 2017

Board of Supervisors
Westtown Township
Westtown, Pennsylvania

Re: Rezoning & Preliminary/Final Subdivision & Land Development Application
Westtown Woods – 15 lot residential development
1010 Wilmington Pike (UPI 67-4-9)

Dear Supervisors:

At their February 8, 2017 meeting, the Planning Commission recommended the Board of Supervisors approve the rezoning of the four acre portion of 1010 Wilmington Pike (UPI 67-4-9) from C-2, Highway Commercial District back to R-2, Residential District. Ms. Adler made the following motion, seconded by Mr. Lees and approved 4-2 with Mr. Hatton and Mr. Pomerantz voting unfavorably on the motion:

The Planning Commission recommends the Board of Supervisors rezone the areas specified on the plan for Westtown Woods from C-2 Highway Commercial District to R-2 Residential District.

With a favorable motion made for the rezoning, the Planning Commission then recommended preliminary/final approval for the Westtown Woods subdivision and land development application, subject to several conditions located on the same property. Mr. Pomerantz made the following motion, seconded by Mr. Lees and approved 6-0:

The Planning Commission has reviewed the preliminary-final plan for the Westtown Woods subdivision and recommends its approval by the Board of Supervisors subject to the following conditions:

- *The Planning Commission supports nine of the ten waiver requests without further condition based on the opinion of the Township Engineer. Specific to the waiver from §149-925.H, the Planning Commission recommends additional escrow be held to ensure the survival of the trees planted at a smaller caliper.*

- *The Planning Commission supports the utilization of the existing 202 access for the staging of equipment associated with the overall site work subject to conditions imposed by WEGO Regional Police and PennDOT as well as formal notification to all adjoining property owners a minimum 24 hours in advance of accessing the site from 202.*
- *The Planning Commission supports the offer of an easement through open space to serve as an alternate access to Robins Nest Lane. How the easement is developed will be subject to agreement between the third parties and consideration should be given to the timing of its construction as to be concurrent with the construction of adjacent homes. If the easement is granted, a note should also be added to the plan indicating its general alignment and location.*
- *The Planning Commission recommends the developer provide for a flyer or other written documentation to all of their subcontractors, utilizing the starkest possible language, to the danger of driving and causing safety issues along Jacqueline Drive.*
- *The Planning Commission recommends additional landscaping be required in the vicinity of the proposed wall associated with the road connection back to Jacqueline Drive as to serve as a vegetative screen.*

Sincerely yours,

A handwritten signature in blue ink, appearing to read 'CPA', with a long horizontal stroke extending to the right.

Chris Patriarca, AICP
Planning Commission Secretary

REZONING ANALYSIS

FOR

WESTTOWN WOODS

WESTTOWN TOWNSHIP, CHESTER COUNTY, PA

PREPARED BY



**EDWARD B. WALSH & ASSOCIATES, INC.
125 Dowlin Forge Road
Lionville Professional Center
Exton, PA 19341
610-903-0060
EBWA File No. 4062**

May 6, 2016

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INTRODUCTION:

Southdown Homes is proposing to subdivide a 13.13 acre parcel located along Route 202 and Jacqueline Drive in Westtown Township. The parcel is zoned both R-2 and C-2 Highway commercial. The proposed development would require a zoning change for the +/- 4 acre area that is zoned C-2. this analysis is being prepared to evaluate the impact on rezoning the property relative to the amount of available C-2 area remaining.

Westtown Township has approximately 15 acres zoned C-2 all of which is located along Rt. 202 and Old Wilmington Pike as you enter the township from the southbound Rt. 202 ramp and the Borough of West Chester. (see figure 1) Much of the area is located along Old Wilmington Pike, which is a 20 -24' wide residential collector street and does not actually have frontage on Rt. 202. this poses an interesting dilemma because most commercial users want front visibility along a major roadway and these properties offer limited visibility and difficult access to Rt. 202. Additionally, all of the properties have existing houses, structures and or commercial buildings located on them. These facilities will need to be removed or incorporated into new commercial developments if they occurred.

The analysis looks at the overall area in 4 sections or areas as they each have their own unique characteristics. We prepared schematic layouts for each of the parcels as is if they were being developed as commercial project to realistically identify the available square footage that could be constructed in the remaining C- 2 zoning district. The layouts focused on both small retail and office type layouts as they are the types of projects that would be constructed within a highway commercial district.

It does not include any layouts for the 4 acre parcel that is the subject of the rezoning request. The parcel has extremely limited access and visibility on Rt. 202. The frontage is fairly long but it is comprised of steep slope and an approximately 175' 8-10 wall that makes it extremely difficult to access the highway. The majority of the sites frontage sits approximately 10 feet down from the Rt. 202 elevations. As such this parcel would require major earthwork and expense to try to make it a developable commercial property.

*Township of Westtown, PA
Thursday, February 18, 2016*

Chapter 170. Zoning

Article XIA. C-2 Highway Commercial District

§ 170-11A00. Statement of intent.

In addition to the goals presented in the general purpose and the community development objectives sections of this chapter, the purpose of this district is to provide a unified area, designed according to a plan of highway-related enterprises which will serve the regional needs of this area. An additional major purpose of this district is to ensure a safe and efficient movement of vehicular traffic along, onto, and off of U.S. Route 202, recognizing its importance as a major highway serving traffic traveling through the region, especially in terms of off-premises outdoor advertising.

§ 170-11A01. Use regulations.

- A. Uses by right. A building may be erected, altered, or used, and a lot or premises may be used or occupied, by right, for any of the following purposes and no other:
- (1) Retail sales.
 - (2) Personal service shops.
 - (3) Restaurant, retail bakery, or other places preparing, selling, and/or serving food or beverages.
 - (4) General business, professional, governmental, and administrative offices.
 - (5) Banks and similar financial institutions.
 - (6) Medical clinic.
 - (7) Motel.
 - (8) Storage or distribution facilities.
 - (9) Customary accessory uses associated with any commercial use permitted by this section.
 - (10) Religious use.
- B. Uses by special exception. The following uses shall be permitted when approved as a special exception by the Zoning Hearing Board in accordance with the terms of this article and §170-2108 of this chapter:
- (1) Restaurant, retail bakery, or other places preparing, selling, and/or serving food or beverages which require drive-through-window takeout service.
 - (2) Automobile service station, provided that all gasoline pumps and service facilities are set back at least 30 feet from the street line and provided further that no service station shall be located

within 500 feet of another service station on the same side of the street.

- C. Conditional uses. The following uses shall be permitted only upon approval as a conditional use by the Board of Supervisors in accordance with the terms of this article and § 170-2009 of this chapter:
- (1) Off-premises outdoor advertising sign in accordance with Article XVIII.

§ 170-11A02. Area and bulk regulations.

The following regulations shall apply to all uses permitted by right and special exception in the C-2 District:

- A. Minimum lot area: one acre.
- B. Minimum lot width: 200 feet at building setback line; in addition, 200 feet at future right-of-way line of Route 202.
- C. Maximum building coverage: 35%.
- D. Maximum other impervious surface area: 70%.
- E. Minimum front yard setback: 40 feet for any building or parking area.
- F. Minimum side yards:
- (1) Fifteen feet minimum for each, except 50 feet from the future right-of-way line of Route 202.
- G. Minimum rear yard: 40 feet.
- H. Maximum building height: three stories, not to exceed 38 feet.
- I. Any accessory use or structure shall be located in compliance with front, side and rear yard requirements of this district.

§ 170-11A03. Design standards.

The following design standards shall apply:

- A. Screening: as required by § 170-1508 of this chapter.
- B. Storage: as required by § 170-1509 of this chapter.
- C. Landscaping: as required by § 170-1507 of this chapter.
- D. Access and traffic control: as required by §§ 170-1510, 170-1511, and 170-1512 of this chapter.
- E. Interior circulation: as required by § 170-1513 of this chapter.
- F. Lighting: as required by § 170-1514 of this chapter.
- G. Off-street parking and loading: as required by Article XVII of this chapter.
- H. Signs: as required by Article XVIII of this chapter.

§ 170-11A04. General standards.

- A. No use shall be conducted in the required front, side, and rear yards, except for permitted signs.

- B. No goods shall be displayed in the required front, side, and rear yards.
- C. The parcel or parcels shall be in single and separate ownership, or proof of option shall be furnished at the time of application, or a joint application shall be filed by separate owners. The proposed tract shall be capable of an integrated design of a complete commercial center within its boundary.

§ 170-11A06. Plan submission requirements.

- A. In order to demonstrate compliance with the terms of this article, any applicant proposing any use authorized by right within the C-2 District shall submit a plan (map and text) to the Township Zoning Officer, describing specifically how the requirements of this article will be addressed.
- B. Where the proposed use constitutes a subdivision or land development, as defined by Chapter 149, Subdivision of Land, the plan submission requirements of that chapter shall supersede the provisions of this section.
- C. For any conditional use application, the submission requirements under § 170-2009 of this chapter shall govern, and the plan submitted shall demonstrate compliance with the requirements of this article.
- D. Any plan also shall include a certification from the Chief of the fire company responsible for serving the site as to the adequacy of access for emergency vehicles and the sufficiency of available water for fire-fighting purposes. Where the water source is off site, suitable arrangements to assure access at all times shall be demonstrated by the applicant.
- E. Upon submission of an application for development within the C-2 District, all owners of property within 500 feet of any portion of the tract on which such development is proposed shall be notified of the application and of the process through which the application will be reviewed.

Westtown Township

Chester County, Pennsylvania

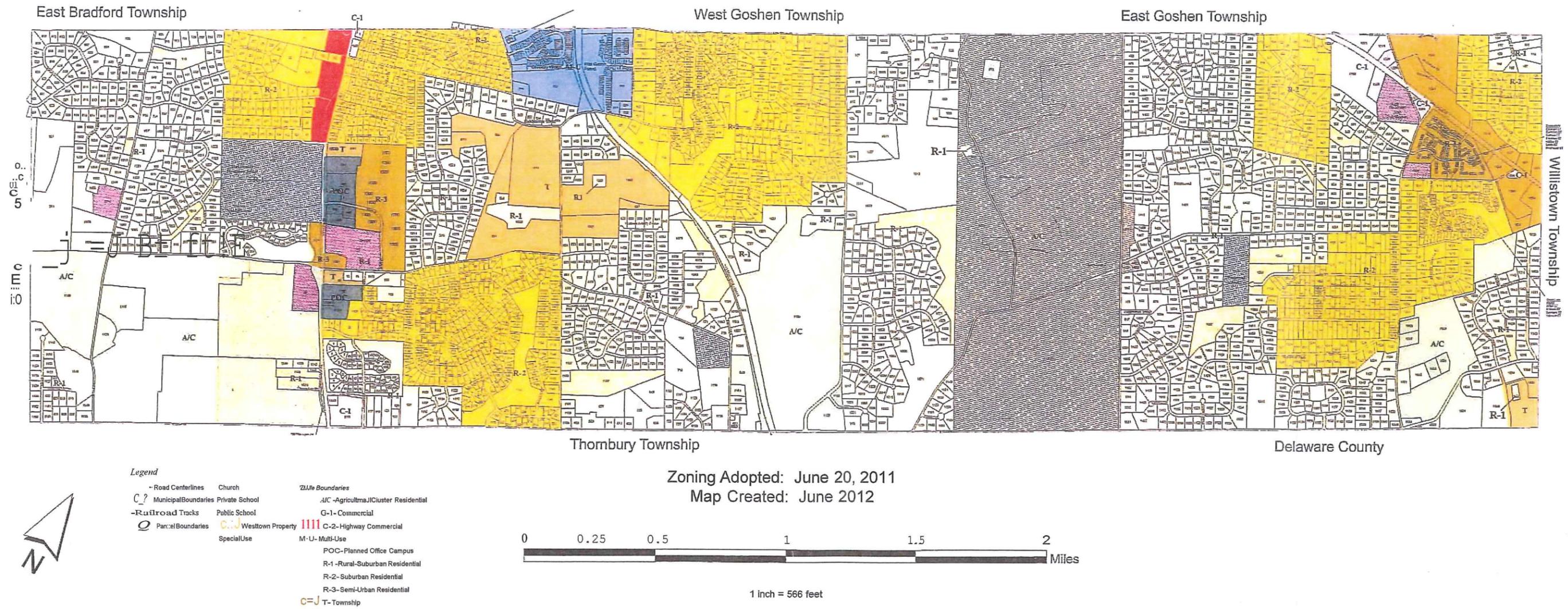


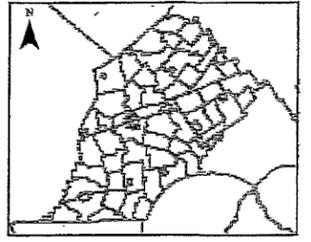
Figure 1

Commercial Area 1:

Commercial area 1 is consists of parcels 67-4-13,15 and 16. Theses parcels are located at the southern intersection of Rt. 202 and Old wilmingtown Pike and Cheney Drive. The comprise approximately 2.60 acres of land. Parcel 67-4-16 is currently utilized a commercial facility as the Abbey Green Irish Village and Inn is located there. The facilities include a small retail shop and five efficiency type rental units. Adjacent to the Irish Village there is a house then a Butch/Meat shop along Old wilmingtown Pike which has a landscaping/mulch type business locate in the rear. Additionally there are several other buildings including a barn on the properties.

We grouped these together because they could either be developed as a tear down or an integrated development re-using or continually using the existing commercial businesses while adding additional buildings with more commercial space. We believe the later to be the case as the existing structures are non conforming and could not constructed in their current location because of the 200' setback requirement along Rt. 202 or the 40' setback along Old Wilmington Pike. In our judgment adaptive re-use would be the most feasible approach.

The proposed schematic layouts show that theses parcels could yield 15,600 s.f of new commercial space and adaptive re-use of 7,600 s.f. of existing space. See figure 2.



Map Created:
Thursday, February 18, 2016



County of Chester

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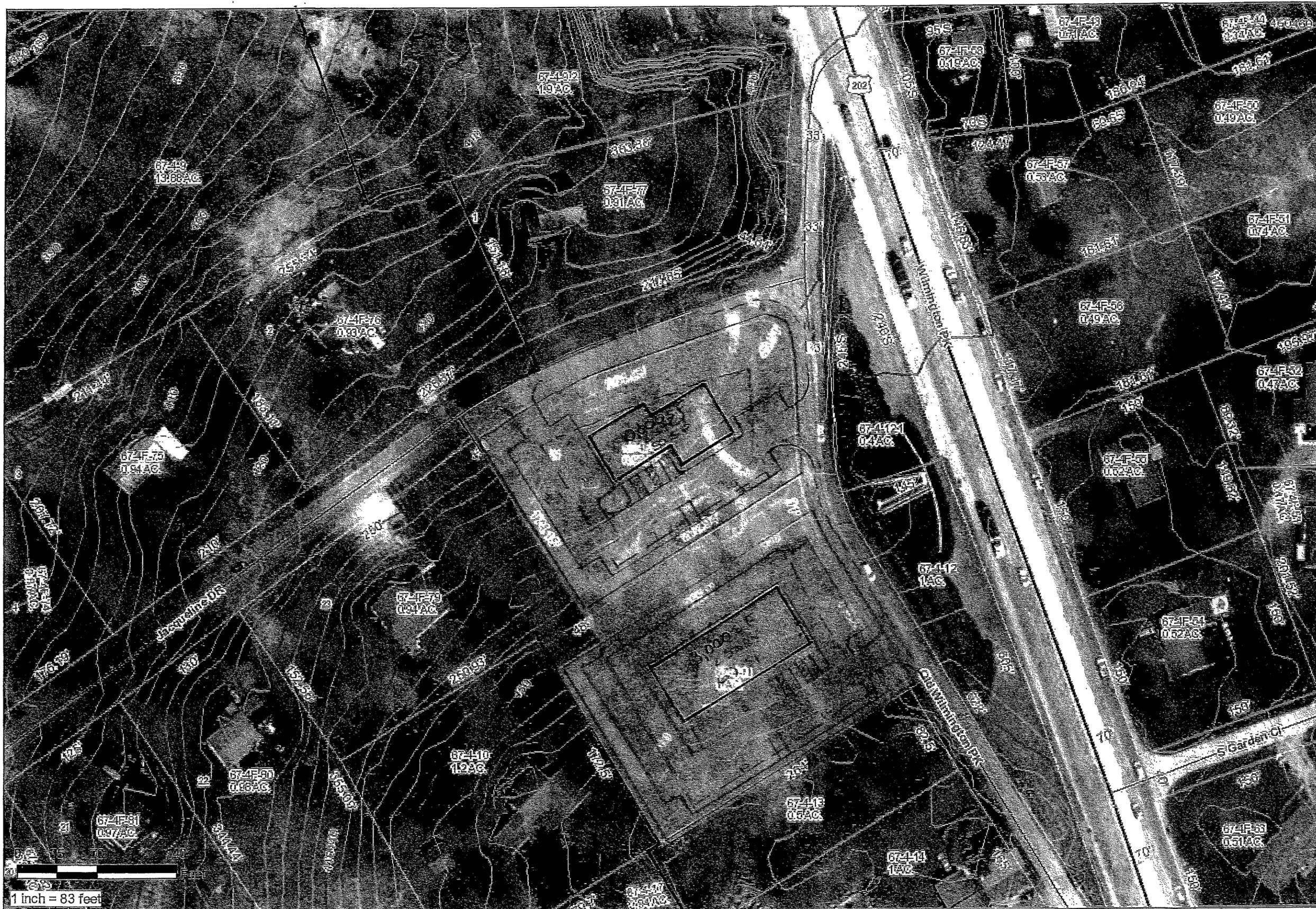
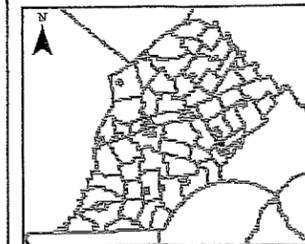
Figure 2

Commercial Area 2:

Commercial Area 2 consists of parcel 67-4F-79 and 67-4-11. Both parcels are roughly one acre in size and are currently improved and occupied as single family residential. They are located just to the south of Jacqueline Drive. The visibility to Route 202 is limited at best for these properties and if they were redeveloped as commercial it is our belief that they would be more of an office setting than retail. The cost to purchase and redevelop these two parcels would make it necessary to maximize the building size and coverages on the parcels.

We grouped these together because both properties are similar in use, location and limitations. We believe that if they were redeveloped they both would have two story office building located on them so as to increase the square footage and leave as much space as possible to maximize the parking.

The proposed schematic layout found on Figure 3 shows a yield of 23,000 s.f. of office space on these two parcels.



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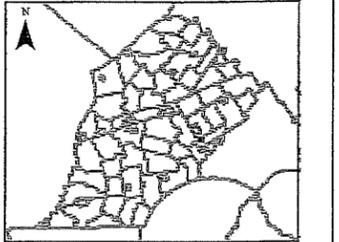
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Commercial Area 3:

Commercial area three is located just north of Jacqueline Drive and is comprised of the last commercial property with frontage on route 202 before the intersection with Old Wilmington Pike and the first property on Old Wilmington. It is comprised of tax parcels 67-4-9.2 and 67-4F-77 and they comprise 2.81 acres of land. Parcel 67-4-9.2 is improved with an existing gas and service station that sits on a filled portion of the parcel. The rear of the parcel is vacant woodlands. The other parcel is a single family dwelling.

We grouped these two together because of the improved visibility to Rt. 202 and in our opinion if any of the parcels were to be redeveloped as retail space of some kind it would be these two. Development of the rear of the gas station parcel has its limitations and would involve expensive improvements however it could be developed into a 9,600 s.f. building that possibly could be occupied by a car parts, automobile repair or tire facility. The corner parcel while it still has its limitations as far as frontage, visibility and access it could be developed as a Rite-aid or CVS neighborhood pharmacy facility with a drive through pharmacy capability. The building square footage would be 6,000 s.f. See Figure 4.

These two parcels combined could yield an additional 15,600 s.f. of commercial space.



Map Created:
Thursday, February 18, 2016

County of Chester



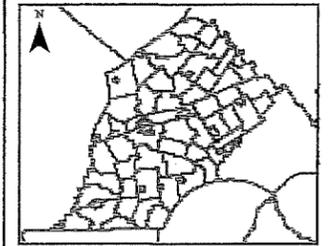
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Figure 4

Commercial Area 4:

Commercial Area 4 is comprised of approximately 4 acres of parcel 67-4-7 which is land owned by West Chester University along the merge ramp for Rt. 202. The property has the best frontage with limited access. The best access that could be provided would be a improved right in/right out intersection located at the current intersection with Robins Nest Lane. The parcel is currently grass and patches of woodland. We left this parcel in a group by itself as it has the largest frontage and could be developed as larger two story office building.

If the property could be purchased from the University or even developed by them it could yield a 29,400 s.f. Office Building. See Figure 4.



Map Created:
Thursday, February 18, 2016



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Figure 5

Summary and Conclusion:

The preceding analysis looked at the available land area zoned C-2 commercial that could be developed or re-developed into usable commercial space. If the frontage area of parcel 67-4-9 was rezoned to residential there would be approximately 11 acres of land remaining C-2 in Westtown Township. Not all the property is vacant however it would still be available re-development. Even within the existing 15 acres zoned C-2 the only vacant parcels are the 4 acres owned by the University and the .5 acre 67-4-13 parcel located on old Wilmington Pike. Within these remaining 11 acres we believe that a total of 83,600 s.f. of commercial space could be developed.

Therefore, in our opinion the rezoning of the 4 acres located on parcel 67-4-9 to residential would leave adequate area zoned C-2 within the township. Additionally when you evaluate the physical constraints, lack of safe access and the costs necessary to mitigate those constraints on the property in question it is in our opinion the least likely to be developed as a commercial development.

APPENDIX A

BIOGRAPHICAL SKETCH

NAME: ANDREW EBERWEIN

EDUCATION:

- BA Geography and Environmental Studies, Shippensburg University - May 1982
- M.R.P. Urban and Regional Planning, Pennsylvania State University - May 1986

EXPERIENCE:

June 1985 – December 1986

Montgomery County Planning Commission, Norristown, PA – Community Planner.

Responsible for providing professional planning services to contract municipalities in Montgomery County. Services included Act 537 Subdivision Review; Zoning Ordinance, Subdivision and Land Development Ordinance, Comprehensive Plan and 537 Plan Review and update preparation.

January 1987 – September 1993

Bursich Associates, Inc., 2129 East High Street, Pottstown, PA. – Project Manager.

Responsible for the completion of all aspects of subdivision and land development design from Client, Consultant, Sketch Planning, Engineering design, and representation at Township meetings. Position included being personally responsible for site layout, stormwater management, sanitary sewer, sediment and erosion control, grading, water layout design and supervision of others completing similar tasks to the above.

October 1993 – Present

Edward B. Walsh and Associates, Inc., 125 Dowlin Forge Road, Exton, PA. – Partner and Project Manager

Responsible for all aspects of Subdivision and Land Development Plan preparation from Client, Consultants, Environmental Impact Reports, proposal preparation, Sketch Plans, Engineering design to Client representation at Municipal hearings. Tasks include lot calculations, stormwater management design, sanitary sewer layout and design, waterline layout, grading, sediment and erosion control design, cut and fill analysis, escrow preparation and expert witness testimony.

EXPERT WITNESS EXPERIENCE

Daylesford Associates, Kenmara Subdivision – 65 Lot Cluster. Qualified Engineering Expert in front of East Bradford Township Board of Supervisors represented by Russ Unruh, Esq. Qualified by Fronefield Crawford, Esq. Conditional Use.

Saw Mill Ventures, Wellington Hunt – 47 Lot Cluster Subdivision. Qualified Engineering Expert in front of East Fallowfield Township Board of Supervisors represented by Ronald Nagle, Esq. Qualified by Fronefield Crawford, Esq. Conditional Use.

Daylesford Associates, Aldergate Subdivision – 21 Lot Cluster Subdivision. Qualified Engineering Expert in front of West Whiteland Township Board of Supervisors represented by John D. Snyder, Esq. Qualified by Fronefield Crawford, Esq. Conditional Use.

Daylesford Associates, Aldergate Subdivision – 21 Lot Cluster Subdivision. Qualified Engineering Expert in front of West Whiteland Township Zoning Hearing Board represented by Neil Gentry, Esq. Qualified by Fronefield Crawford, Esq. Special Exception for Slope Encroachment.

Robert Hedberg – 25 Lot Cluster Subdivision. Qualified Engineering Expert in front of West Whiteland Township Board of Supervisors represented by John D. Snyder, Esq. Qualified by Maryann Rossi, Esq. Conditional Use.

Landis and Graham Partnership – 31,000 S.F. Shopping Center. Qualified Engineering Expert in front of West Vincent Township Board of Supervisors represented by Allan Greenwood, Esq. Qualified by John Good, Esq. Conditional Use.

Blynn Hospitality – 115 Room Hampton Inn and 90 Seat Restaurant. Qualified Engineering Expert in front of East Whiteland Township Board of Supervisors represented by Ronald Nagle, Esq. Qualified by John Good, Esq. Conditional Use.

Devon Nissan – Automobile Dealership Expansion. Qualified Engineering Expert in front of Easttown Township Planning Commission and Board of Supervisors represented by Ronald Nagle, Esq. Qualified by Donald Turner, Esq. Conditional Use.

Hills @ Thorndale Woods – 214 Unit Single-Family Residential Subdivision. Qualified Engineering Expert in front of Caln Township Commissioners represented by Ronald Nagle, Esq. Qualified by Ross Unruh, Esq. Conditional Use.

Woods at Rock Raymond – 361 Unit Retirement Community. Qualified Engineering Expert in front of Caln Township Commissioners represented by John Good, Esq. Qualified by Ronald Nagle, Esq. Conditional Use.

King's Grant – 128 Unit Residential Subdivision. Qualified Engineering Expert in front of Caln Township Commissions represented by Ronald Nagle, Esq. Qualified by Lou Colegreco, Esq. Conditional Use.

St. Maximillian Kolbe – K-8 Catholic Elementary School. Qualified Planner and Engineering Expert in front of Westtown Township Zoning Hearing Board represented by Robert Adams, Esq. Qualified by Chris Connell, Esq. Zoning Hearing.

WORK EXPERIENCE CONTINUED

<u>CLIENT/PROJECT</u>	<u>TOWNSHIP</u>	<u>TASK</u>
Whitehall Manor 120 Bed Nursing Home		Subdivision and Land Development Plan, Site Plan, Grading Plan, Stormwater Management Design, ± 2500 S.F. watermain extension, ± 1200 L.F. sanitary sewer extension and E&S Plans.
Redgo Properties/ Linfield Knoll (120 Unit Townhouse)	Limerick Twp.	Title Plan and Land Development Plan. Sanitary Sewer design, Grading Plan, Stormwater Management Design (conveyance only) and E&S Plan.
Woods at Rock Raymond (361 Unity Retirement Comm.)	Caln Twp.	Land Development Plans, Sanitary Sewer, Stormwater Management, Grading, Water Layout design and Plan.
Shooster Properties/ Fairless Hill, S.C. 120,000 S.F. Shopping Ctr.	Falls & Bristol Twps.	Land Development Plans, Site Plans, Demolition Plan, grading, E&S, PennD.O.T. sanitary sewer, stormwater conveyance, basin and utility layout and design.
Southdown Homes/ Thorndale Green (340 Lot Cluster Sub.)	Caln Twp.	Subdivision and Land Development Plans., grading, stormwater conveyance,

WORK EXPERIENCE CONTINUED

<u>CLIENT/PROJECT</u>	<u>TOWNSHIP</u>	<u>TASK</u>
Villages at Bell Tavern (286 Unit Townhouse & Cluster Development)	E. Caln Twp.	Subdivision Plans, Title Plans, grading, roadway plan and profile, stormwater conveyance, basin, sanitary sewer, and E&S design and plans.

The following projects are very similar in nature and their tasks were the same, therefore the task is only listed once.

BPG Properties./ Glen Loch II F, G & H. (225,000 S.F. Office)	W. Whiteland Twp.	Land Development Plans, Site Plans, grading, E&S, stormwater conveyance, basin and sanitary sewer design, in some cases, Penn D.O.T. design was Completed.
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County Line Village (50,000 S.F. Shopping Ctr.)	Douglass Twp. (M.C.)
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J. Loew Assoc./ Eaglepointe Village (225,000 S.F. Shopping Ctr./ Industrial Complex)	Upper Uwchlan Twp.
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W. A. I. (100,000 S.F. Warehouse/ Office)	Limerick Twp.
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Westtown Office Building 20,000 S.F office	Westtown Township
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Southdown Homes Pickering Grant 120 units	Charlestown Township
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Archdiocese Philadelphia Saint Joseph Church	Downingtown Borough
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GENERAL NOTES:

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY TAKEN FROM EXISTING FEATURES PLAN... 2. THE LOTS WILL BE SERVED BY PUBLIC SEWER AND WATER... 3. A WETLAND DELINEATION HAS BEEN PERFORMED BY E.B. WALSH AND ASSOCIATES...

Ownership and Maintenance Schedule table with columns for Location, Ownership, and Maintenance.

19. A BARNYARD EASEMENT IS TO BE ESTABLISHED FOR ALL OF THE LOTS FOR THE SANITARY CONNECTION PITS...

WAIVER REQUEST

- 1. SECTION 149-901.F TO PERMIT A CUL-DE-SAC LENGTH IN EXCESS OF 1500 FEET... 2. SECTION 149-900 TO PERMIT SUBMISSION OF PRELIMINARY/FINAL PLAN...

ZONING DATA table for R-2 Residential District, including minimum lot area, width, and depth requirements.

NET AREA DEDUCTIONS: LEGAL R.O.W. = 0.9 AC, SLOPE >25% = 0.23 AC, WETLANDS = .21 AC.

NET AREA = 14,041 - 1.34 AC = 12,700 S.F. (12.70 X 1.98 = 25.14 UNITS)

NO. LOT PROPOSED = 15. OPEN SPACE REQ. = 1.27 AC (55,321 S.F.).

OPEN SPACE A & D = 27,353 S.F. + 29,570 S.F. = 56,923 S.F. (1.31 AC).

OPEN SPACE B & C = 14,356 S.F. + 9,540 S.F. = 23,896 S.F. (.54 AC).

TOTAL OPEN SPACE PROVIDED = 1.85 AC (COUNTED TOWARDS REQUIRED)

ACT 287 as amended SERIAL NUMBER 20163051959 Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines...

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work...

UTILITIES NOTIFIED: PENNSYLVANIA ONE CALL SYSTEM, 800-482-1274

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION...

UPJ NO. 67-4-9

SOILS CLASSIFICATION: G/C GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES

U/LD URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES

G/DB GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES

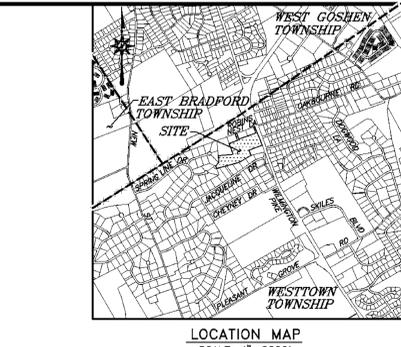
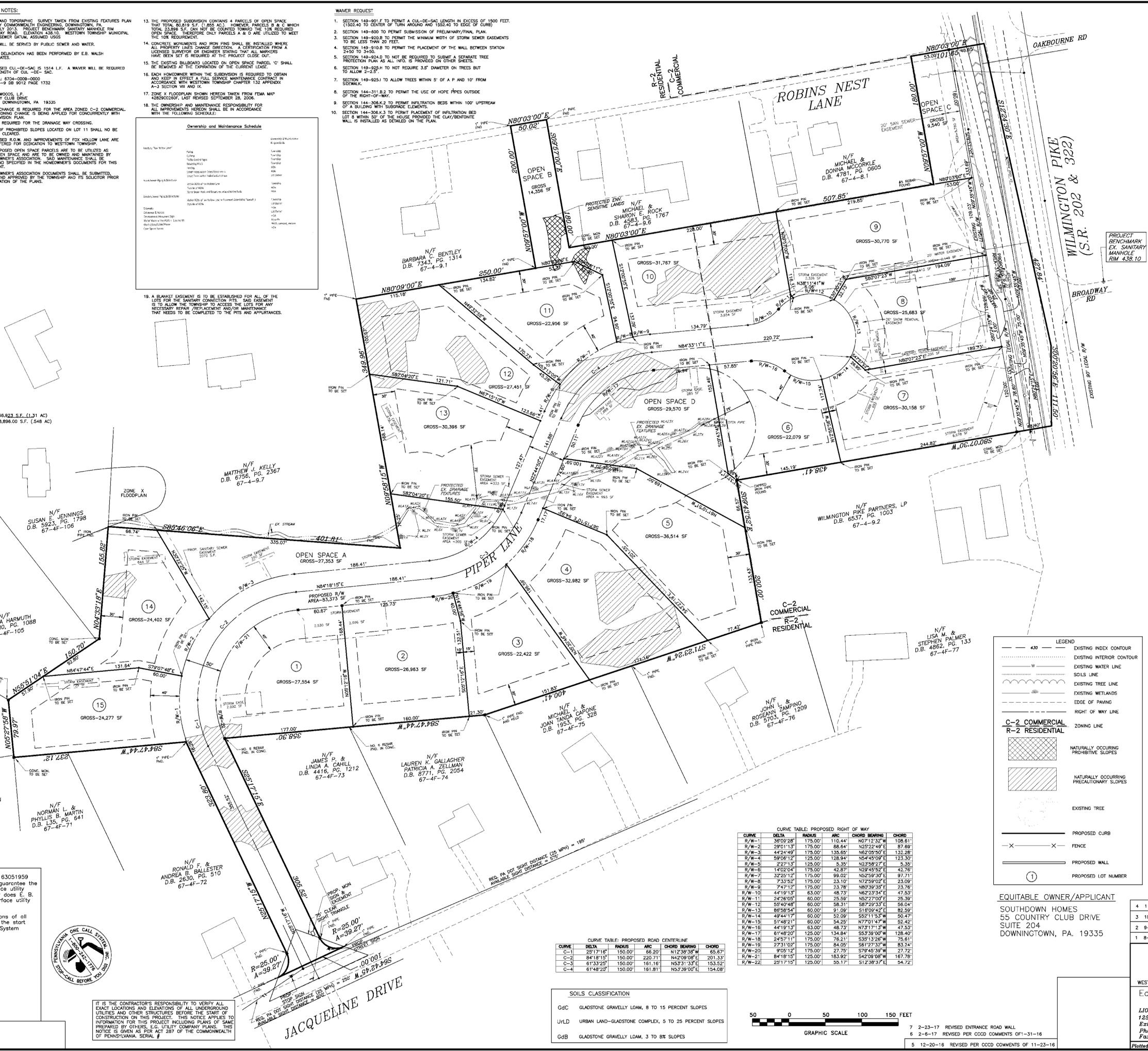
GRAPHIC SCALE: 0 50 100 150 FEET

6 2-23-17 REVISED ENTRANCE ROAD WALL

6 2-6-17 REVISED PER CCOD COMMENTS OF 1-31-16

5 12-20-16 REVISED PER CCOD COMMENTS OF 11-23-16

Plotted: 2/23/2017 P:\B\4062\4062-01.pr



COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER

On this _____ day of _____ A.D. 2016 before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in Chester County, Pa., personally appeared Adam R. Loew, who acknowledges himself to be the President of a partnership, and that as such President, being authorized to do so, he executed the foregoing plan by signing that the said partnership is the owner of the designated land, that all necessary approval of the plan has been obtained and is endorsed thereon, and that the said partnership desires that the foregoing plan may be duly recorded.

APPROVED by the Board of Supervisors of Westtown Township, Chester County, Pa., this _____ day of _____, 2016.

REVIEWED by the Planning Commission of Westtown Township, Chester County, Pa., this _____ day of _____, 2016.

Recorded in the Office of the Recorder of Deeds of Chester County at West Chester, Pennsylvania in the Plan Book _____ day of _____, 2016.

PRELIMINARY/FINAL TITLE PLAN

LIST OF PLANS table listing various plan sheets and their corresponding page numbers.

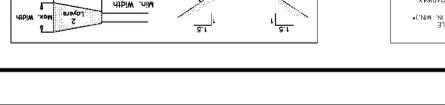
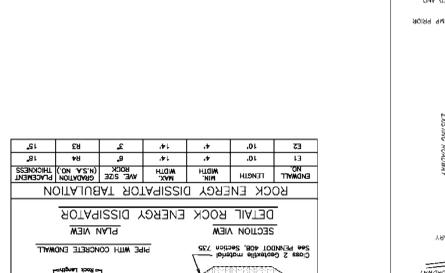
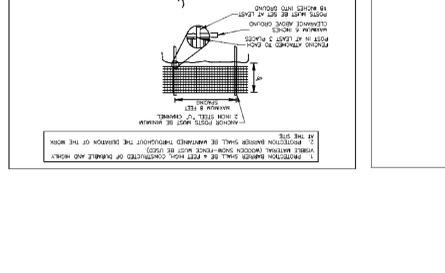
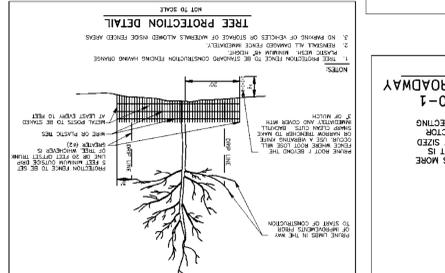
EQUITABLE OWNER/APPLICANT: SOUTHDOWN HOMES 55 COUNTRY CLUB DRIVE SUITE 204 DOWNTOWN, PA. 19335

WESTTOWN WOODS

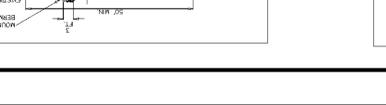
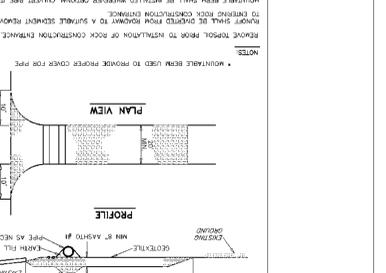
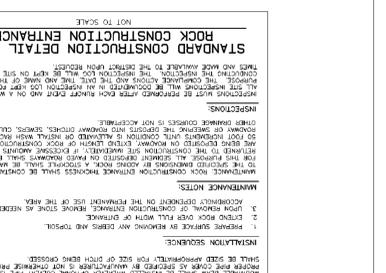
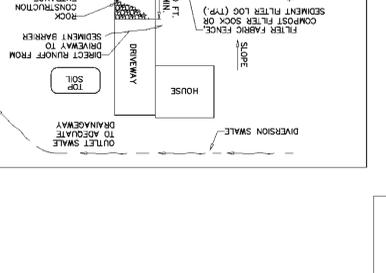
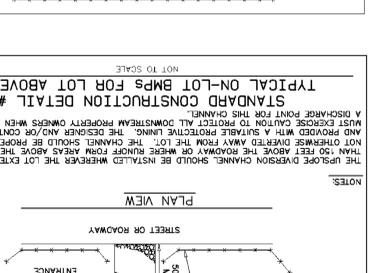
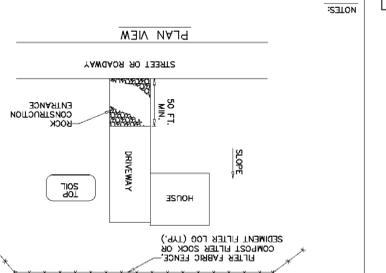
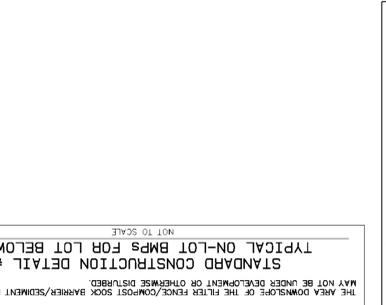
WESTTOWN WOODS project information including contact details for Edward B. Walsh & Associates, Inc., project number, date, scale, and drawing details.

Project - 4082	Sheet - 1 of 17
Scale - 1" = 50'	Checked - AE
Drawn - JLD	Project - 4082
125 LITTLE PROFESSIONAL CENTER EASTON, PENNSYLVANIA 18841	Project - 4082
EDWARD B. WALSH & ASSOCIATES, INC. CHESTER COUNTY, PA.	Project - 4082
WESTON TOWNSHIP	Project - 4082
WESTON WOODS	Project - 4082
FOR	Project - 4082
PLAN OF SUBDIVISION	Project - 4082
1-8-16 REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS	Project - 4082
2-9-17 REVISIONS PER ENGINEERS COMMENTS OF 9-1-16 AND 9-2-16	Project - 4082
3-10-16 REVISIONS PER CCOD COMMENTS	Project - 4082
11-29-16 REVISED PER TOWNSHIP ENGINEERS COMMENTS	Project - 4082
2-23-17 NOT THIS SHEET	Project - 4082
2-29-17 REVISION PER CCOD COMMENTS OF 1-23-17	Project - 4082
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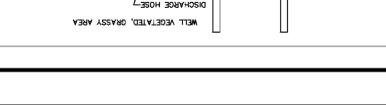
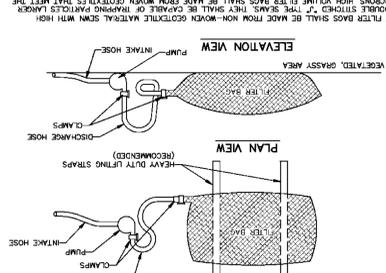
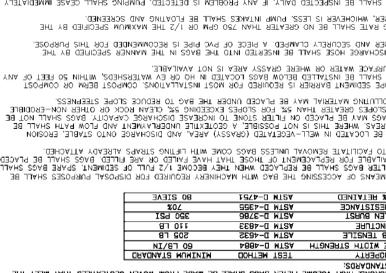
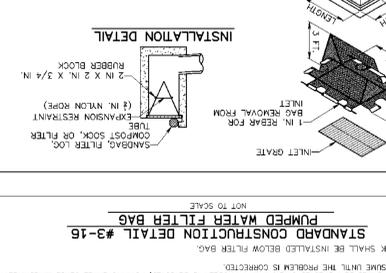
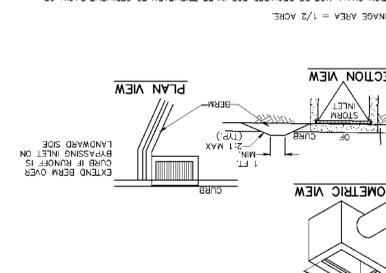
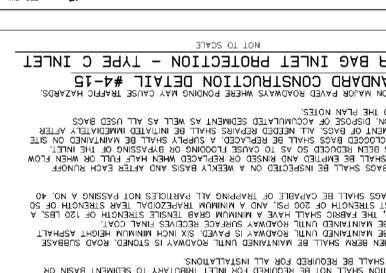
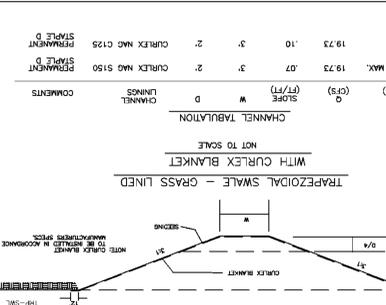
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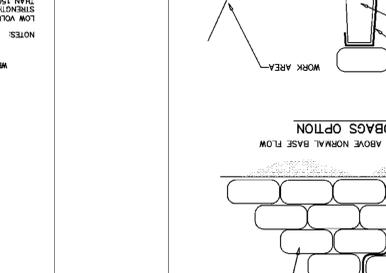
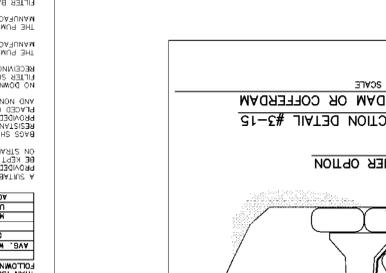
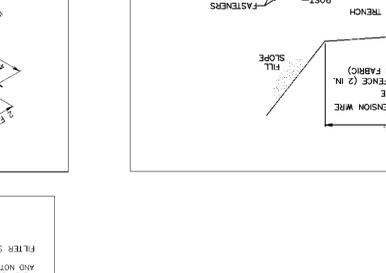
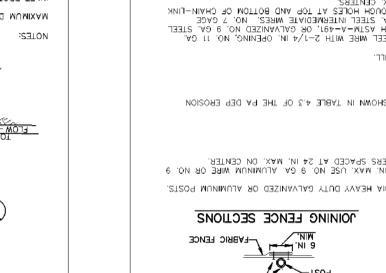
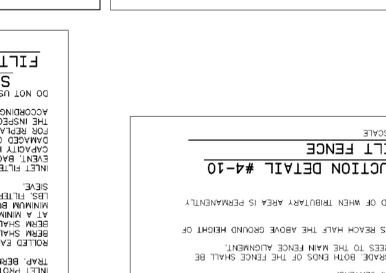
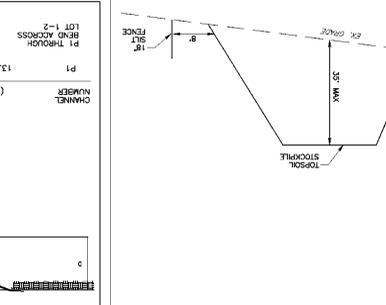
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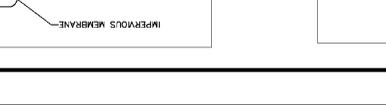
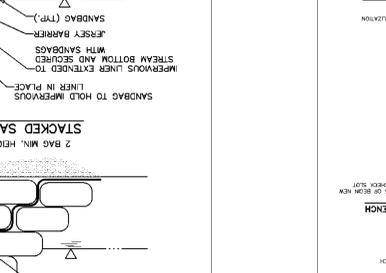
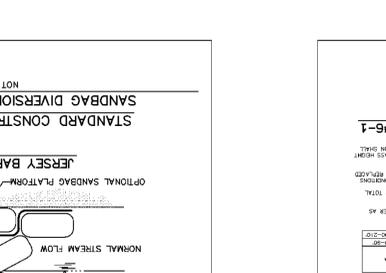
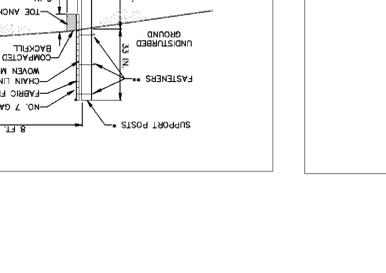
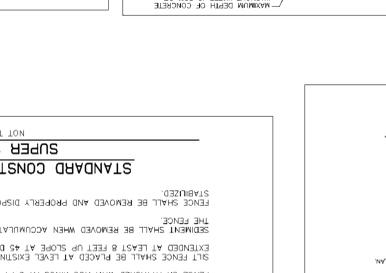
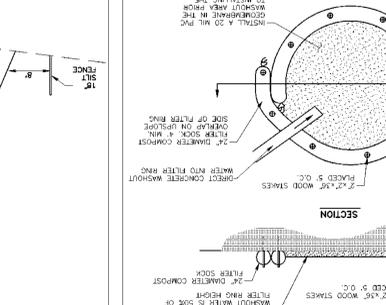
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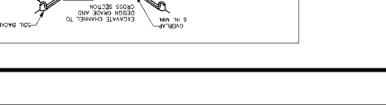
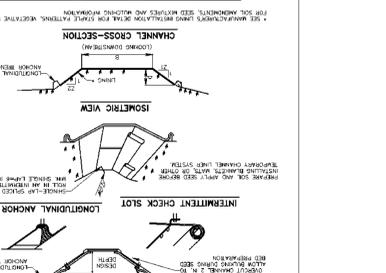
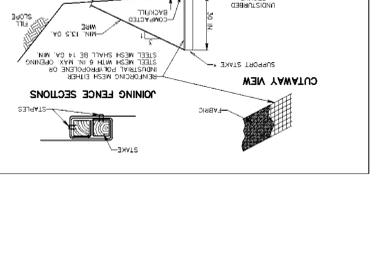
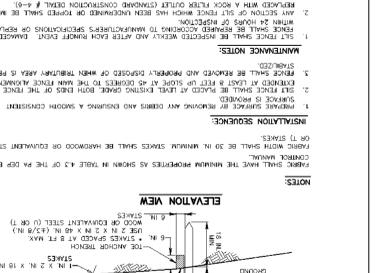
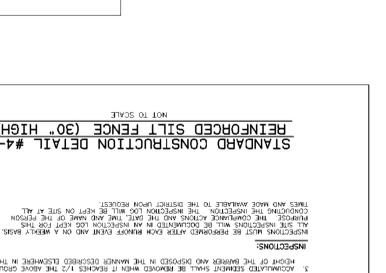
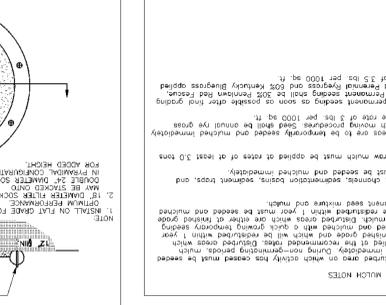
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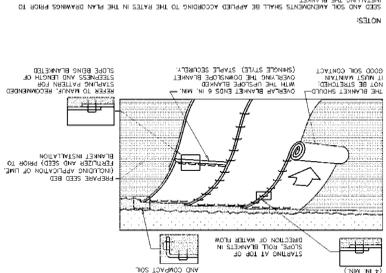
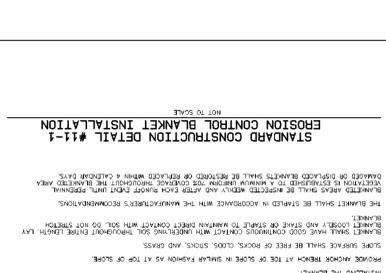
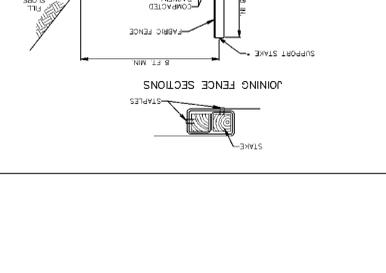
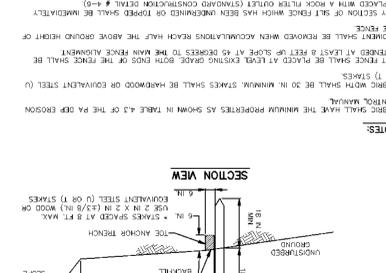
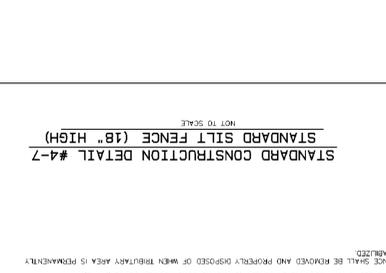
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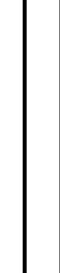
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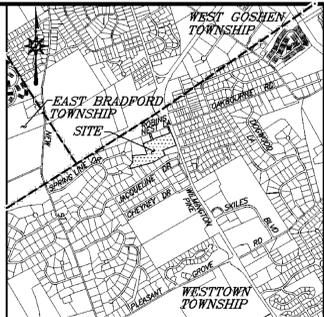


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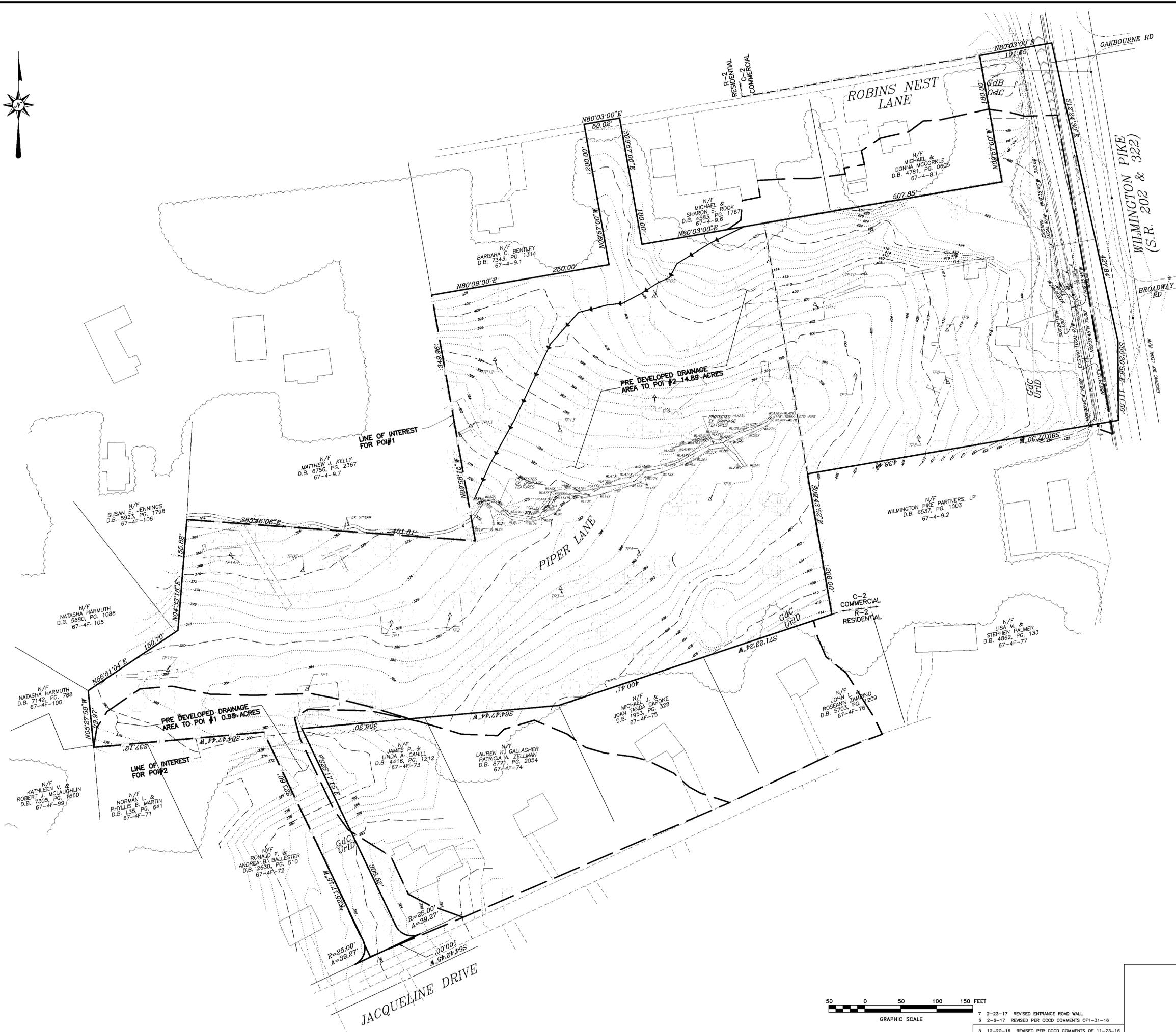


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Channel	Y	(ft)	1.00	MAX.	19.73	0.07	3'	2'	CURLEX MAG 5150	STABLE





LOCATION MAP
SCALE: 1"=2000'



POST CONSTRUCTION STORMWATER PRE DEVELOPED DRAINAGE AREA PLAN

4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCCD COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 AND 9-2-16.
1	10-6-16	REVISED PER CCCD COMMENTS

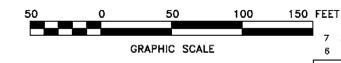
PLAN OF SUBDIVISION
FOR
WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.

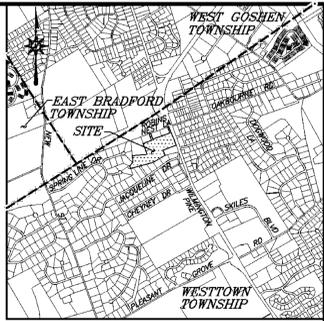
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 DOWLIN FORGE RD.
EATON, PENNSYLVANIA 19341
Phone: 610-903-0060
Fax: 610-903-0080

Project-4062
Date-3/17/16
Scale-1"=50'
Drawn-DB
Checked-AE
Sheet-12 OF 17

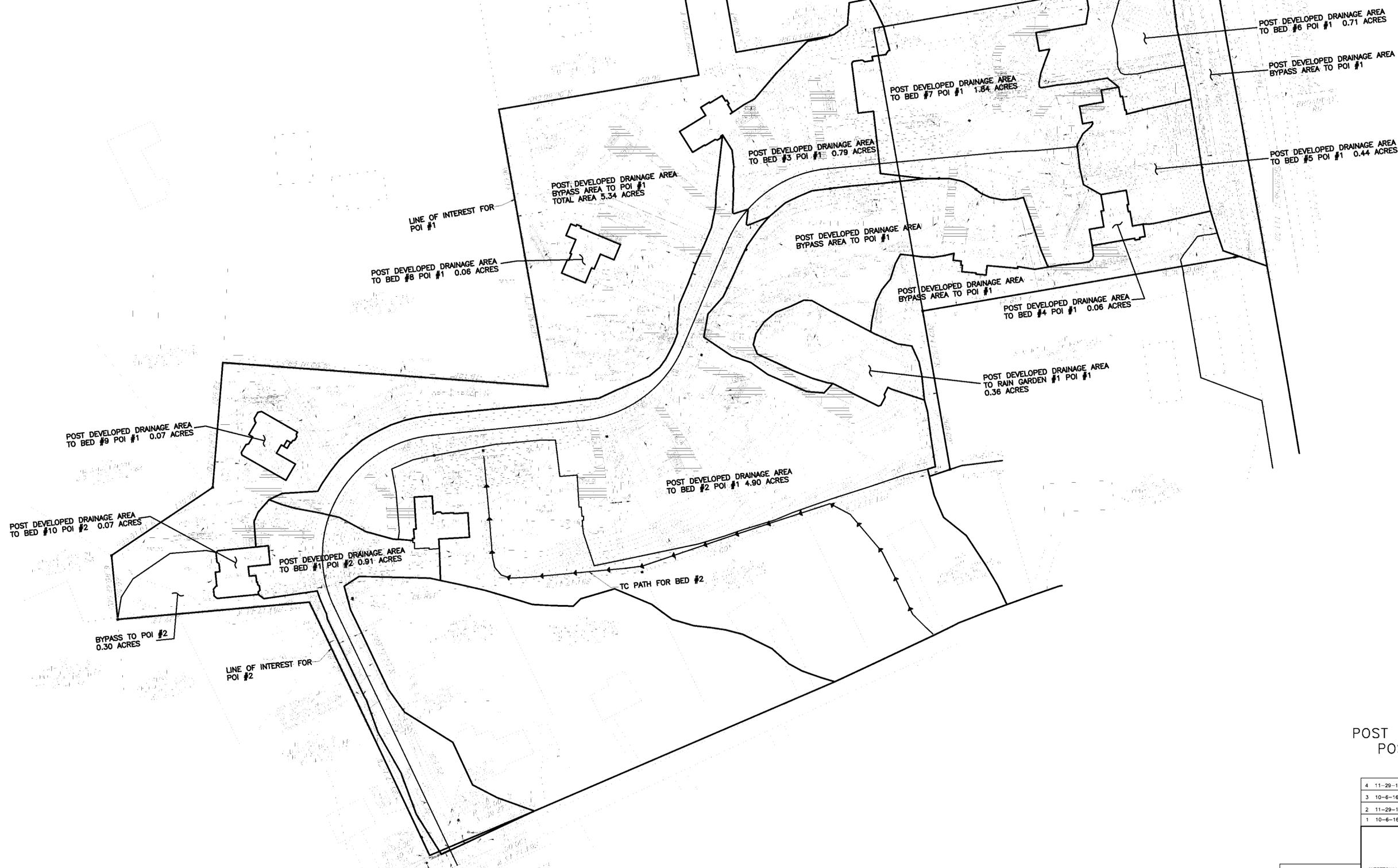
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7	2-23-17	REVISED ENTRANCE ROAD WALL
6	2-9-17	REVISED PER CCCD COMMENTS OF 1-31-16
5	12-20-16	REVISED PER CCCD COMMENTS OF 11-23-16



LOCATION MAP
SCALE: 1"=2000'



POST CONSTRUCTION STORMWATER POST DEVELOPED DRAINAGE AREA PLAN

4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCCD COMMENTS
2	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
1	10-6-16	REVISED PER CCCD COMMENTS

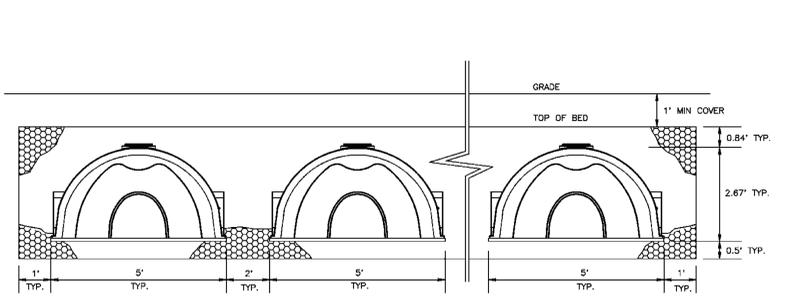
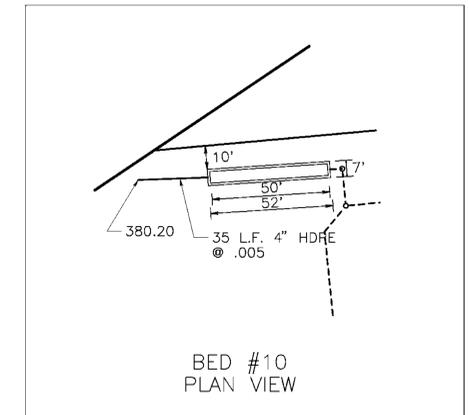
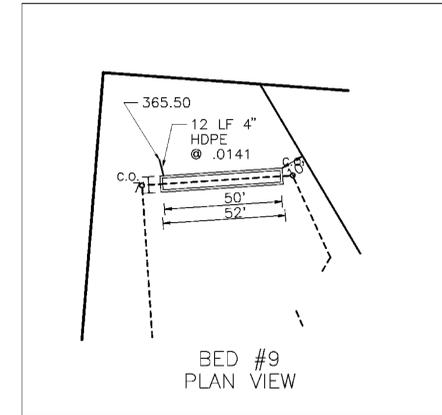
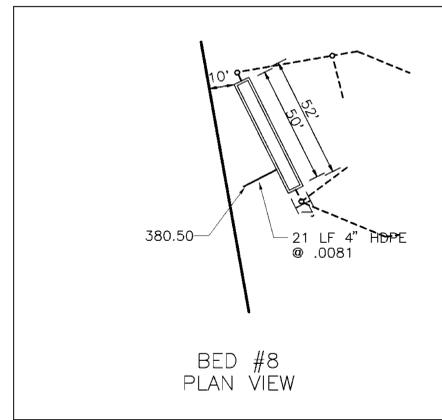
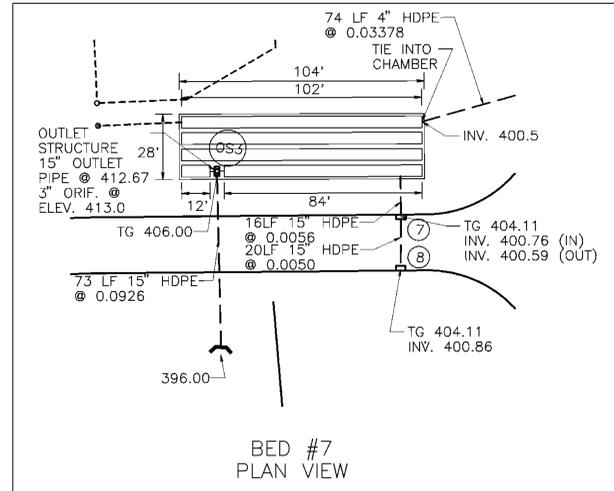
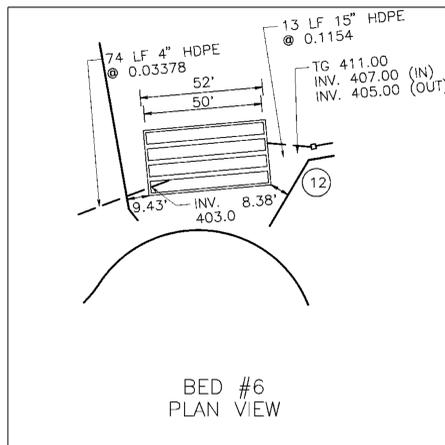
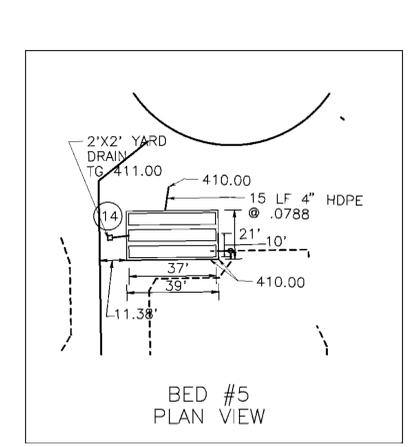
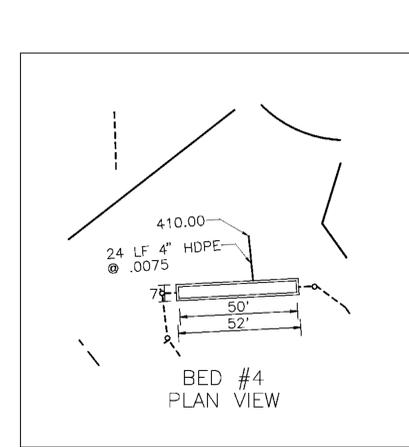
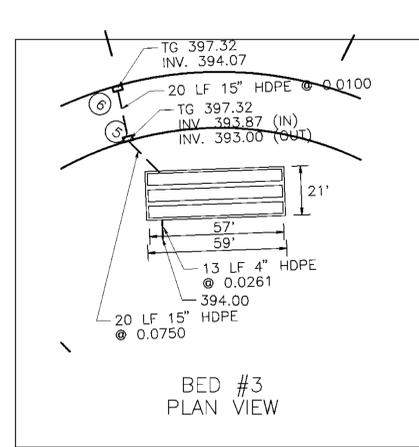
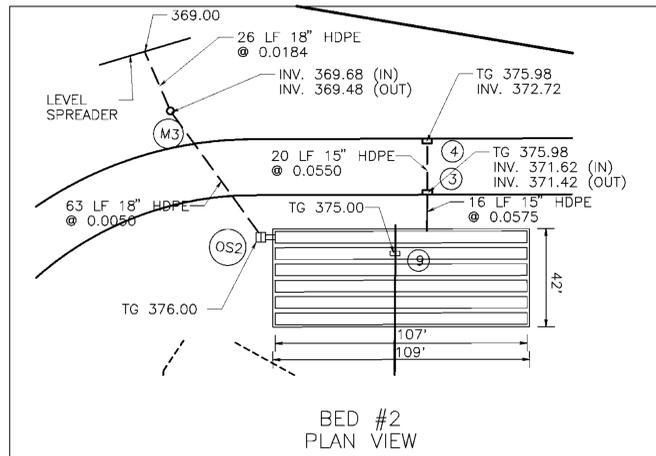
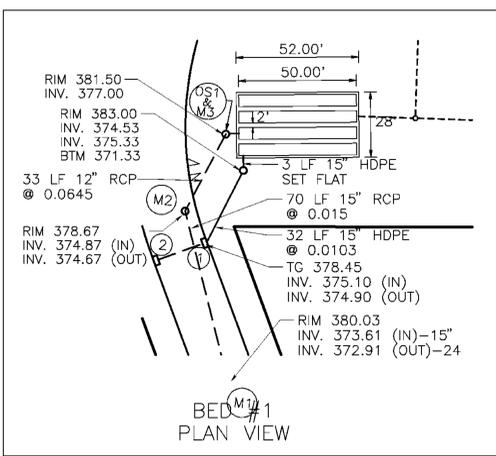
PLAN OF SUBDIVISION FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 DOWLIN FORGE RD.
 EXTON, PENNSYLVANIA 19341
 Phone: 610-903-0060
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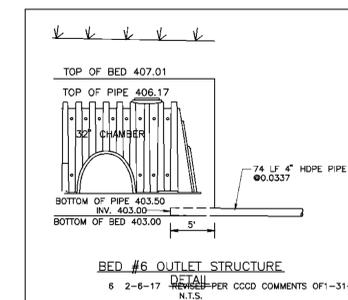
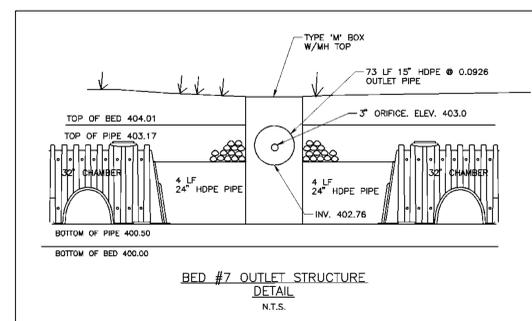
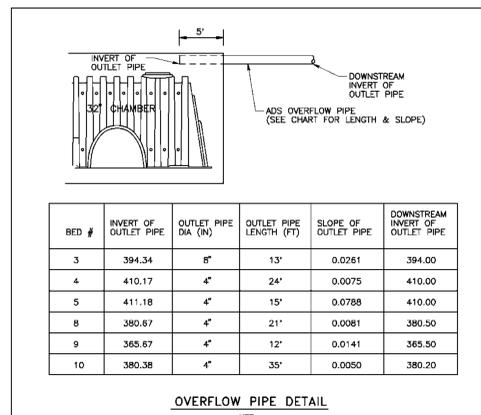
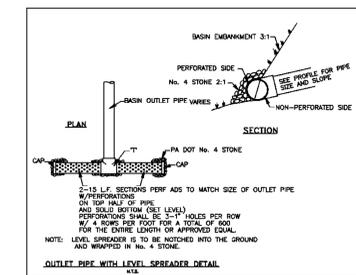
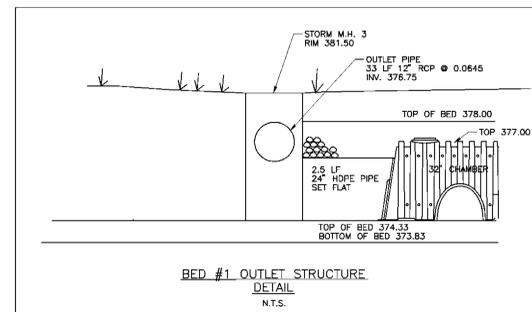
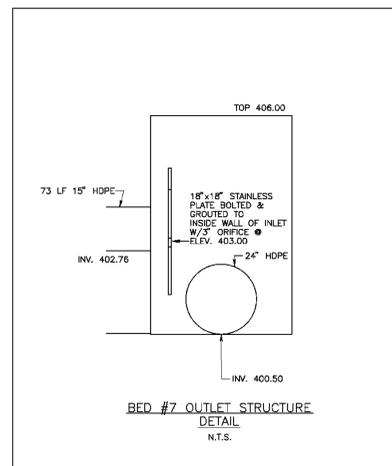
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 Date-3/17/16
 Scale-1"=50'
 Drawn-DB
 Checked-AE
 Sheet-13 OF 17



7 2-23-17 REVISED ENTRANCE ROAD WALL
 6 2-6-17 REVISED PER CCCD COMMENTS OF 1-31-16
 5 12-20-16 REVISED PER CCCD COMMENTS OF 11-23-16



NOTE: BED CHAMBER DESIGN UTILIZING CULTEC RECHARGER VHD. INSTALL CHAMBERS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.



	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
	STONE UNDER PIPE (FT)	RECHARGER CHAMBER HEIGHT (IN)	TOP PIPE TO TOP BED (FT)	BOTTOM BED	BOTTOM PIPE	TOP PIPE	TOP OF BED	100 YR ELEV.	# OF ROWS	LENGTH OF ROWS (FT)	TOTAL LINER FEET															
BED 1	0.50'	2.67'	0.84'	373.83	374.33	377.00	378.00	377.20	4	50'	200'															
BED 2	0.50'	2.67'	0.84'	370.00	370.50	373.17	374.01	374.00	6	107'	642'															
BED 3	0.50'	2.67'	0.84'	391.00	391.50	394.17	395.01	394.73	3	57'	171'															
BED 4	0.50'	2.67'	0.84'	406.50	407.00	409.67	410.51	408.23	1	50'	50'															
BED 5	0.50'	2.67'	0.84'	407.50	408.00	410.67	411.51	410.08	3	37'	111'															
BED 6	0.50'	2.67'	0.84'	403.00	403.50	406.17	407.01	405.35	4	50'	200'															
BED 7	0.50'	2.67'	0.84'	400.00	400.50	403.17	404.01	402.90	4	102'	408'															
BED 8	0.50'	2.67'	0.84'	377.00	377.50	380.17	381.01	378.77	1	50'	50'															
BED 9	0.50'	2.67'	0.84'	362.00	362.50	365.17	366.01	363.93	1	50'	50'															
BED 10	0.50'	2.67'	0.84'	376.71	377.21	379.88	380.72	378.55	1	50'	50'															

PRELIMINARY/FINAL
POST CONSTRUCTION
INFILTRATION BED DETAILS

7 2-23-17 NOT THIS SHEET
 6 2-6-17 REVISED PER CCDD COMMENTS OF 1-31-16
 5 12-20-16 REVISED PER CCDD COMMENTS OF 11-23-16
 4 11-29-16 REVISED PER TOWNSHIP ENGINEER'S COMMENTS
 3 10-6-16 REVISED PER CCDD COMMENTS
 2 9-27-16 REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 and 9-2-16.
 1 8-18-16 REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS

PLAN OF SUBDIVISION
FOR
WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 DOWDIN FORGE RD.
 EXTON, PENNSYLVANIA 19341
 Phone: 610-903-0060
 Fax: 610-903-0080

Project-4062
 Date-3/17/16
 Scale-1"= 50'
 Drawn-DB
 Checked-AE
 Sheet-15 OF 17

Plotted: 2/23/2017 P:\B\4062\4062-B1.pro

LEGEND

- 430 --- EXISTING INDEX CONTOUR
- --- EXISTING INTERIOR CONTOUR
- --- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- EXISTING TREE LINE
- EXISTING WETLANDS
- EDGE OF PAVING
- RIGHT OF WAY LINE
- ZONING LINE
- C-2 COMMERCIAL
- R-2 RESIDENTIAL
- NATURALLY OCCURRING PROHIBITIVE SLOPES
- NATURALLY OCCURRING PRECAUTIONARY SLOPES
- EXISTING TREE
- PROPOSED CURB
- X --- FENCE
- PROPOSED WALL
- PROPOSED LOT NUMBER
- PROPOSED FIRE HYDRANT
- 3/4" COPPER WATER SERVICE
- GRINDER PUMP AND FORCE MAIN
- 2.5" SDR21 FORCE MAIN
- 8" D.I.P. WATER MAIN



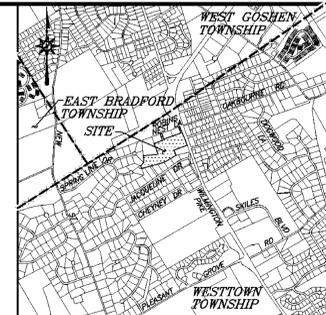
SOILS SERIES AND MAP SYMBOL	DEPTH TO SEASONAL HIGH WATER TABLE (FT.)	BEDROCK (FT.)	PERMEABILITY (MICROMETER/HR.)	AVAILABLE MOISTURE CAPACITY (IN. PER IN. OF SOIL DEPTH)	REACTION PH	SUITABILITY AS SOURCE OF TOPSOIL	ROAD FILL
Gladstone GdC	5+	5+	9.17-22.30	.14	6.3 6.1	Fair	Fair

SOIL NOTE

- The site contains mapped Worham Soils that have been tested and found not to present to the extent mapped. The Worham Soils are limited to the shaded area depicted on the plan.
- If any wet or unstable soils are encountered through the course of construction, they shall not be used to construct roadways, basin berms or other structural fill.

SOILS CLASSIFICATION

GdC	GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
UrLD	URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
GdB	GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES

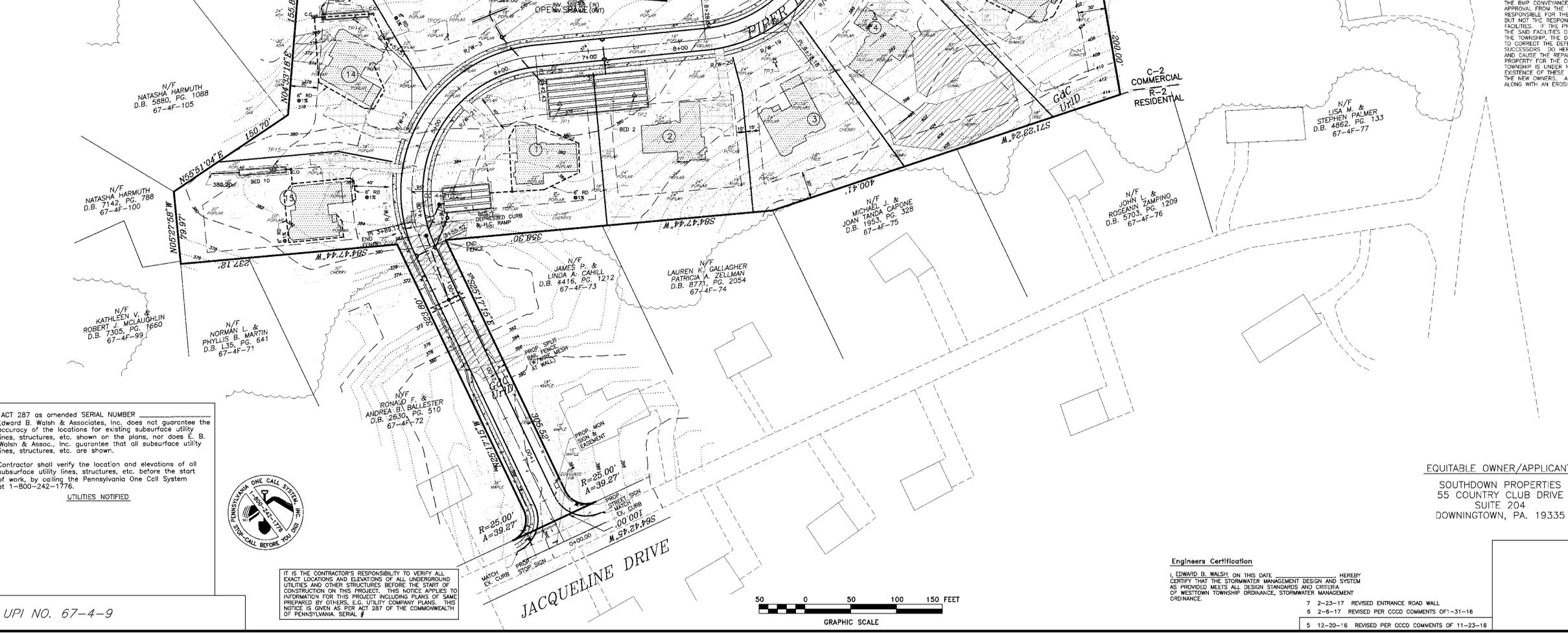


ZONING DATA
R-2 RESIDENTIAL DISTRICT
W/PUBLIC SEWER AND WATER

MIN. LOT AREA	22,000 S.F.
MIN. LOT WIDTH	
BLDG. LINE	100'
STREET LINE	50'
MIN. SIDE YARD	10' (25' AGG)
MIN. FRONT YARD	40'
MIN. REAR YARD	30'
REQ. OPEN SPACE	10%
MAX. LOT COVERAGE	25%
MAX. BLDG. HEIGHT	35'
TOTAL TRACT AREA	14,041 AC.
NET AREA DEDUCTIONS	
LEGAL R.O.W.	= 0.9 AC.
SLOPE >25%	= 0.23 AC.
WETLANDS	= .21 AC.
TOTAL	1.34 AC.
NET AREA	14,041 - 1.34 = 12,70 AC
DENSITY	1.98 UNITS/ACRE
12.70 X 1.98	= 25.14 UNITS
NO. LOT PROPOSED	= 15
OPEN SPACE REQ.	= 1.27 AC. (55,321 S.F.)
OPEN SPACE PROP.	= 1.58 AC. (68,748 S.F.)

PROPERTY OWNERS CERTIFICATION

THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE WESTTOWN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF OR PLACE ANY STRUCTURE, OTHER VEGETATION, WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN. WITHOUT WRITTEN APPROVAL FROM THE TOWNSHIP, THE INDIVIDUAL LOT OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS, SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE SAID FACILITIES. THE TOWNSHIP MAINTAINS THE RIGHT, BUT NOT THE RESPONSIBILITY, TO ENTER SAID PREMISES TO OBSERVE OR INSPECT THE FUNCTIONING OF THESE FACILITIES. IF THE PROPERTY OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS FAILS IN ANY WAY TO MAINTAIN THE SAID FACILITIES OR CAUSES THESE FACILITIES TO BE ALTERED OR REMOVED, UPON WRITTEN NOTIFICATION BY THE TOWNSHIP, THE DEFECTS SHALL BE PROMPTLY CORRECTED BY PROPERTY OWNER. UPON THE OWNER'S FAILURE TO CORRECT THE DEFECTS WITHIN THE TIME SPECIFIED BY THE TOWNSHIP, THE TOWNSHIP OWNER, HIS/HER HEIRS, ASSIGNS OR SUCCESSORS, DO HEREBY AUTHORIZE THE TOWNSHIP AND/OR THEIR CONTRACTOR TO ENTER UPON THE SAID PROPERTY AND CAUSE THE REPAIR, MAINTENANCE AND/OR CORRECTION TO BE MADE. A LEM MAY BE FILED AGAINST THE PROPERTY FOR THE COST OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES. THE TOWNSHIP IS UNDER NO OBLIGATION TO TAKE ANY ACTION. ALL SUBSEQUENT REAL ESTATE TRANSACTIONS, THE EXISTENCE OF THESE STORMWATER FACILITIES AND THEIR MAINTENANCE RESPONSIBILITIES SHALL BE DISCLOSED TO THE NEW OWNERS. ANY REVISION TO THE APPROVED SWM SITE PLAN SHALL BE SUBMITTED TO THE TOWNSHIP ALONG WITH AN EROSION & SEDIMENTATION CONTROL PLAN FOR REVIEW AND APPROVAL.



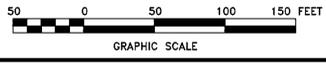
ACT 287 as amended SERIAL NUMBER
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.



UPI NO. 67-4-9

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT. THIS NOTICE APPLIES TO INFORMATION FOR THIS PROJECT INCLUDING PLANS OF SAME PREPARED BY OTHERS, E.G. UTILITY COMPANY PLANS. THIS NOTICE IS GIVEN AS PER ACT 287 OF THE COMMONWEALTH OF PENNSYLVANIA, SERIAL #



Engineers Certification

I, EDWARD B. WALSH, ON THIS DATE, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT DESIGN AND SYSTEM AS PROVIDED MEETS ALL DESIGN STANDARDS AND CRITERIA OF WESTTOWN TOWNSHIP ORDINANCE, STORMWATER MANAGEMENT ORDINANCE.

7 2-23-17 REVISED ENTRANCE ROAD WALL
6 2-6-17 REVISED PER CCCC COMMENTS OF 1-31-16
5 12-20-16 REVISED PER CCCC COMMENTS OF 11-23-16

EQUITABLE OWNER/APPLICANT
SOUTHDOWN PROPERTIES
55 COUNTRY CLUB DRIVE
SUITE 204
DOWNTOWN, PA. 19335

PRELIMINARY/FINAL STORMWATER MANAGEMENT PLAN

4 11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3 10-6-16	REVISED PER CCCC COMMENTS
2 9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 and 9-2-16.
1 8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS
PLAN OF SUBDIVISION FOR WESTTOWN WOODS	
WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.	Project-4062
CIVIL ENGINEERS & SURVEYORS	Date-3/17/16
LIONVILLE PROFESSIONAL CENTER	Scale-1" = 50'
125 Downin Forge Rd.	Drawn-DB
Eaton, Pennsylvania 19341	Checked-AE
Phone: 610-903-0060	Sheet-16 OF 17
Fax: 610-903-0080	
Plotted: 2/23/2017	File: E:\JWB\4062\4062-B1.plt

TREE REPLACEMENT MATRIX

SIZE	TREE TYPE	QUANTITY	TOTAL INCHES	SIZE	TREE TYPE	QUANTITY	TOTAL INCHES	SIZE	TREE TYPE	QUANTITY	TOTAL INCHES
16"	POPLAR	1	16	18"	WALNUT	7	126	20"	ELDER	1	20
18"	POPLAR	37	666	20"	WALNUT	1	20	15"	CHERRY	2	30
20"	POPLAR	9	180	22"	WALNUT	1	22	20"	CHERRY	1	20
22"	POPLAR	16	352	26"	WALNUT	1	26	20"	OSAGE	1	20
24"	POPLAR	34	816					20"	CEDAR	1	20
26"	POPLAR	4	104								
30"	POPLAR	2	60								
36"	POPLAR	1	36								
42"	POPLAR	1	42								

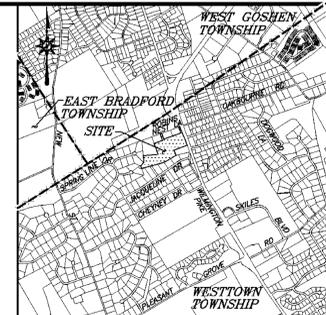
SIZE	TREE TYPE	QUANTITY	TOTAL INCHES
15"	CHERRY	1	15
18"	CHERRY	4	72
20"	CHERRY	2	40

TOTAL INCHES TO BE REMOVED = 3324
 TOTAL REPLACEMENT INCHES REQUIRED = 3324 / 4 = 831
 TOTAL TREES REQUIRED (3.5" CALIBER) = 238 TREES



LEGEND

- 430 --- EXISTING INDEX CONTOUR
- EXISTING INTERIOR CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- EXISTING SOILS LINE
- EXISTING TREE LINE
- EXISTING WETLANDS
- EDGE OF PAVING
- RIGHT OF WAY LINE
- ZONING LINE
- C-2 COMMERCIAL
- R-2 RESIDENTIAL
- EXISTING TREE TO BE SAVED
- PROPOSED CURB
- FENCE
- PROPOSED WALL
- PROPOSED LOT NUMBER
- PROPOSED FIRE HYDRANT



PLANT SCHEDULE

SHADE/TREE TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CAL.	CONDITION
○	5	ZELKOVA SERRATA	VILLAGE GREEN ZELKOVA	12'-14'	3 1/2"	B&B
○	13	ACER RUBRUM	OCTOBER GLORY RED MAPLE	14'-16'	3 1/2"	B&B
○	15	PLATANUS ACERIFOLIA	BLOODGOOD LONDON PLANETREE	14'-16'	3 1/2"	B&B
○	9	QUERCUS IMBRICARIA	SHINGLE OAK	12'-14'	3 1/2"	B&B

TOTAL TREES = 48

PLANT SCHEDULE - COMPENSATORY TREES

SHADE TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
○	10	QUERCUS COCCINEA	SCARLET OAK	14'-16'	B&B
○	10	ACER SACCHARUM	GREEN MOUNTAIN SUGAR MAPLE	12'-14'	B&B
○	8	LIRIODENDRON TULIPIFERA	TULIP TREE	12'-14'	B&B
○	8	PLATANUS X ACEROLIA	LONDON PLANE TREE	12'-14'	B&B
○	7	QUERCUS PALUSTRIS	PIN OAK	12'-14'	B&B
○	11	HALESIA CAROLINA	CAROLINA SILVERBELL	14'-16'	B&B
○	6	LIGULONAR STRYACIFLUA	SWEETGUM	12'-14'	B&B

TOTAL TREES = 60

PLANT SCHEDULE - COMPENSATORY TREES

EVERGREEN TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CONDITION
○	34	ABIES CONCOLOR	WHITE FIR	6'	B&B
○	24	CUPRESSOCYPRUS LEYLANDII	LEYLAND CYPRESS	6'	B&B
○	37	PICEA ABIES	NORWAY SPRUCE	6'	B&B
○	30	PINUS STROBUS	EASTERN WHITE PINE	6'	SHARPE
○	42	PSEUDOTSUGA TARIFOLIA	DOUGLAS FIR	6'	B&B

TOTAL = 150 (COMPENSATORY)
 OTHER = 9 (AT ENTRANCE WALL) - 8 (OFFSITE)
 PLANT SCHEDULE - COMPENSATORY TREES
 FLOWERING/ORNAMENTAL DECIDUOUS TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	CAL.	CONDITION
○	8	BETULA NIPA	HERITAGE BIRCH	12'-14'	3 1/2"	B&B
○	14	CERIS CANDIDISSIMA	EASTERN REDBUD	8'-10'	2'-2 1/2"	B&B
○	16	CORNUS KOUSA	KOUSA DOGWOOD	8'-10'	2'-2 1/2"	B&B
○	10	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	12'-14'	2'-2 1/2"	B&B
○	12	OXYSPERUM ABOURILEM	SOURWOOD	8'-10'	2'-2 1/2"	B&B

TOTAL = 60

TREE CALCULATIONS

COMPENSATORY TREES REQUIRED = 238
 COMPENSATORY TREES PROVIDED = 238
 DECIDUOUS SHADE TREES = 60
 DECIDUOUS FLOWERING/ORNAMENTAL TREES = 60
 EVERGREEN TREES = 150 (75)
 TOTAL = 270 TREES (195)
 (EVERGREEN TREES @ 2:1 RATIO)

- LANDSCAPE NOTES:**
1. PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVALS BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
 2. PROVIDE CONTINUOUS MULCH (2" THICK) IN ALL BEDDING AND GROUND COVER AREAS AND AT THE BASE OF SPECIES TREES.
 3. SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
 4. NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY LANDSCAPE ARCHITECT.
 5. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL UNTIL JOB IS TURNED OVER TO OWNER.
 6. CONTRACTOR SHALL LOOSEN SUBGRADE BY PLANTING BEDS AREA TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIVATOR OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1" - 1 1/2") IN ANY DIMENSIONS AND STICKS, RUBBER AND OTHER EXTRANEOUS MATERIAL.
 7. WHEN CONDITIONS DETERMINE TO PLANT GROWN ARE ENCUMBERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE TOPSOIL, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
 8. TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY SPREAD BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
 9. TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
 10. TREES AND SHRUBS SHALL BE FREELY DUG AND NURSERY GROWN THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
 11. ALL PLANTING BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDOOD MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
 12. ALL CANOPY TREES MUST HAVE A SPREAD EQUAL TO FIFTY PERCENT (50%) OF THE HEIGHT.
 13. ALL PLANTING BEDS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH A BLUE GRASS SEED MIX.
 14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.
 15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
 16. THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
 17. NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR THOSE TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PREVENT GULCHING.
 18. ALL SIZES AND GRADING STANDARD FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND APPROVED MAY 2, 1986 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC., OR THE LATEST REVISED EDITION OF THIS STANDARD.
 19. TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK ON THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHODS OR APPROVED EQUAL: (A) SEEDING OR PLANTING OF GRASSES WITH A GRADIENT OF THIRTY PERCENT (30%) OR LESS STEEP; (B) SOEDING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR MORE STEEP.
 20. ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
 21. THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESCRIPTION OF BOTANICAL AND COMMON NAME.
 22. ALL DISTURBED AREAS ARE TO BE RESTORED TO A VIABLE LAWN.
 23. ANY TREE OR SHRUB THAT DIES WITHIN TWENTY-FOUR (24) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH WITHIN THE APPROVED TIME PERIOD IS DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE TOWNSHIP NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE TOWNSHIP.
 24. TREES ARE TO BE LOCATED 2' OUTSIDE THE RIGHT OF WAY AND 10' FROM SIDEWALK.
 25. ALL SHRUBS ARE TO BE PLANTED MASSES TOGETHER IN MATCHED PLANTING BEDS.
 26. ALL STAKES AND STRAPS AT THE TREES MUST BE REMOVED AFTER ONE YEAR.
 27. ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.
 28. PLANTING SOIL SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL, 1 PART PEAT MOSS, 1 PART WASHED SAND.
 29. TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE UP: BE FRAGILE; SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE; INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-10% ORGANIC MATTER, NO MORE THAN 20% HEIGHT OF CLAY; SHALL BE WEED FREE (ABSENCE OF LIVING/DEAD WEED CONTAMINANT) SHALL HAVE LESS THAN 2% BY WEIGHT OF UNWANTED MATERIALS SUCH AS STONES AND LARGER THAN 10cm IN DIAMETER IN THE TOP 50cm; CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL.
 30. NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15) FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.
 31. NO TREES SHALL BE PLANTED WITH THEIR CENTERS LESS THAN FIVE (5) FEET FROM ANY PROPERTY LINE AND NO SHRUBS WITH THEIR CENTERS LESS THAN (5) FEET FROM ANY PROPERTY LINE UNLESS WAIVED BY THE TOWNSHIP.
 32. EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF A STREET SHALL BE MAINTAINED TO A MINIMUM CLEARANCE OF FOUR FEET (4') FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES BACK TO AVOID BLOCKING SIGHT DISTANCE TO ONCOMING TRAFFIC; AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE DWARF VARIETY AND SHALL NOT EXCEED TWENTY-FOUR (24) INCHES (24") IN HEIGHT AT MATURITY.
 33. ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS.
 34. PROPER SIGHT LINES SHALL BE MAINTAINED AT ALL INTERSECTIONS OF STREETS. THERE SHALL BE A CLEAR SIGHT TRIANGLE MEASURING SEVENTY-FIVE FEET (75') ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.
 35. ALL TREES TO BE RETAINED WITHIN TWENTY-FIVE FEET (25') OF A BUILDING, PARKING OR OTHER PROPOSED IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
 36. ALL PLANTING BEDS, LAWN AREAS AND TREE BASES ARE TO BE TOP DRESSED WITH 6" OF ORGANIC TOPSOIL.

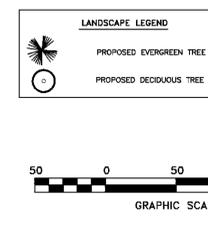
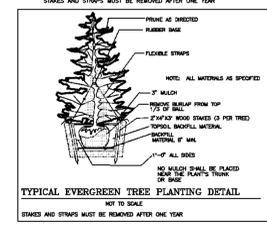
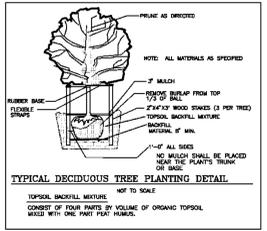
ACT 287 as amended SERIAL NUMBER Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

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UPI NO. 67-4-9



EQUITABLE OWNER/APPLICANT

SOUTHDOWN PROPERTIES
 55 COUNTRY CLUB DRIVE
 SUITE 204
 DOWNTOWNTOWN, PA. 19335

GRAPHIC SCALE

50 0 50 100 150 FEET

7 2-23-17 ADDED EVERGREEN TREES
 5 2-6-17 REVISED PER CCCC COMMENTS OF 31-31-16
 6 12-20-16 REVISED PER CCCC COMMENTS OF 11-23-16

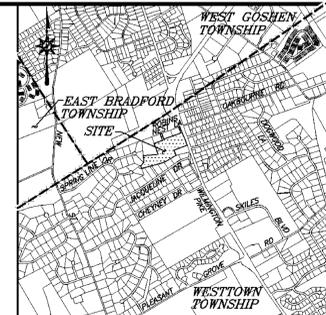
PRELIMINARY/FINAL LANDSCAPE PLAN

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PLAN OF SUBDIVISION FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
 Edward B. Walsh & Associates, Inc. Project-4062
 CIVIL ENGINEERS & SURVEYORS Date-3/17/16
 LIONVIEW PROFESSIONAL CENTER Scale-1"=50'
 125 DOWLIN FORGE RD. Drawn-DJD
 Exton, Pennsylvania 19341 Checked-AE
 Phone: 610-903-0060 Fax: 610-903-0080
 Plotted: 2/23/2017 P/N: E:\4062\4062-B1.prc Sheet-17 of 17

SOILS CLASSIFICATION	
GdC	GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
UfLD	URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
GdB	GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES



LOCATION MAP
SCALE: 1"=2000'

ZONING DATA
R-2 RESIDENTIAL DISTRICT
W/PUBLIC SEWER AND WATER

MIN. LOT AREA	22,000 S.F.
MIN. LOT WIDTH	
● BLDG. LINE	100'
○ STREET LINE	50'
MIN. SIDE YARD	10' (25' AGG)
MIN. FRONT YARD	40'
MIN. REAR YARD	30'
REQ. OPEN SPACE	10%
MAX. LOT COVERAGE	25%
MAX. BLDG. HEIGHT	35'
TOTAL TRACT AREA = 14.041 AC.	
NET AREA DEDUCTIONS	
LEGAL R.O.W.	= 0.9 AC.
SLOPE >25%	= 0.23 AC.
WETLANDS	= .21 AC.
TOTAL = 1.34 AC.	
NET AREA = 14.041 - 1.34 = 12.70 AC	
DENSITY = 1.98 UNITS/ACRE	
12.70 X 1.98 = 25.14 UNITS	
NO. LOT PROPOSED = 15	
OPEN SPACE REQ. = 1.27 AC. (55321 S.F.)	
OPEN SPACE PROP. = 1.58 AC. (68,748 S.F.)	



LEGEND

- 430 --- EXISTING INDEX CONTOUR
- EXISTING INTERIOR CONTOUR
- W --- EXISTING WATER LINE
- S --- SOILS LINE
- T --- EXISTING TREE LINE
- W --- EXISTING WETLANDS
- P --- EDGE OF PAVING
- R --- RIGHT OF WAY LINE
- Z --- ZONING LINE
- C-2 COMMERCIAL
- R-2 RESIDENTIAL
- N --- NATURALLY OCCURRING PROHIBITIVE SLOPES
- P --- NATURALLY OCCURRING PRECAUTIONARY SLOPES
- T --- EXISTING TREE

ACT 287 as amended SERIAL NUMBER
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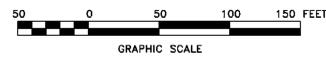
Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.



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UPI NO. 67-4-9

EQUITABLE OWNER/APPLICANT
SOUTHDOWN PROPERTIES
55 COUNTRY CLUB DRIVE
SUITE 204
DOWNTOWNTOWN, PA. 19335



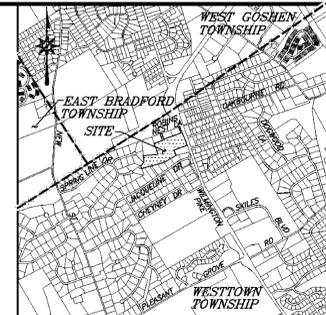
PRELIMINARY/FINAL EXISTING FEATURES PLAN

4 11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3 10-6-16	REVISED PER CCDC COMMENTS
2 9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 and 9-2-16.
1 8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS
PLAN OF SUBDIVISION FOR WESTTOWN WOODS	
WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.	Project-4062
CIVIL ENGINEERS & SURVEYORS	Date-3/17/16
LIONVILLE PROFESSIONAL CENTER	Scale-1"= 50'
125 Dowlin Forge Rd.	Drawn-DB
Eaton, Pennsylvania 19341	Checked-AE
Phone: 610-903-0060	Sheet-2 OF 17
Fax: 610-903-0080	
Plotted: 2/23/2017 Pfile: F:\JWB\4062\4062-B1.pro	

7 2-23-17 NOT THIS SHEET
6 2-6-17 REVISED PER CCDC COMMENTS OF 1-31-16
5 12-20-16 REVISED PER CCDC COMMENTS OF 11-23-16



SOILS CLASSIFICATION	
GdC	GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
U/LD	URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
GdB	GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES



LOCATION MAP
SCALE: 1"=2000'

ZONING DATA	
R-2 RESIDENTIAL DISTRICT W/PUBLIC SEWER AND WATER	
MIN. LOT AREA	22,000 S.F.
MIN. LOT WIDTH	
● BLDG. LINE	100'
⊙ STREET LINE	50'
MIN. SIDE YARD	10' (25' AGG)
MIN. FRONT YARD	40'
MIN. REAR YARD	30'
REQ. OPEN SPACE	10%
MAX. LOT COVERAGE	25%
MAX. BLDG. HEIGHT	35'
TOTAL TRACT AREA = 14.041 AC.	
NET AREA DEDUCTIONS	
LEGAL R.O.W.	= 0.9 AC.
SLOPE >25%	= 0.23 AC.
WETLANDS	= .21 AC.
TOTAL = 1.34 AC.	
NET AREA = 14.041 - 1.34 = 12.70 AC	
DENSITY = 1.98 UNITS/ACRE	
12.70 X 1.98 = 25.14 UNITS	
NO. LOT PROPOSED = 15	
OPEN SPACE REQ. = 1.27 AC. (55321 S.F.)	
OPEN SPACE PROP. = 1.58 AC. (68,748 S.F.)	

LEGEND	
	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	EXISTING WATER LINE
	SOILS LINE
	EXISTING TREE LINE
	EXISTING WETLANDS
	EDGE OF PAVING
	RIGHT OF WAY LINE
	C-2 COMMERCIAL R-2 RESIDENTIAL ZONING LINE
	PROHIBITIVE SLOPES
	PRECAUTIONARY SLOPES
	EXISTING TREE
	EXISTING TREE TO BE REMOVED



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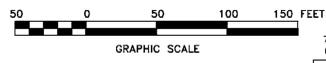
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UPI NO. 67-4-9

EQUITABLE OWNER/APPLICANT
SOUTHDOWN PROPERTIES
55 COUNTRY CLUB DRIVE
SUITE 204
DOWNTOWNTOWN, PA. 19335



PRELIMINARY/FINAL
TREE REMOVAL PLAN

4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCCD COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 and 9-2-16.
1	8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS

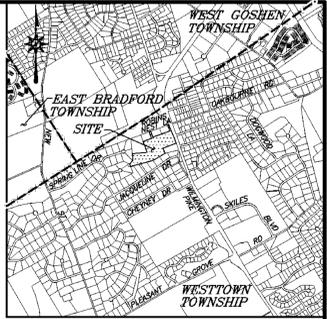
PLAN OF SUBDIVISION
FOR
WESTTOWN WOODS

WESTTOWN TOWNSHIP	CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.	Project-4062
CIVIL ENGINEERS & SURVEYORS	Date-3/17/16
LIONVILLE PROFESSIONAL CENTER	Scale-1"= 50'
125 Dowlin Forge Rd.	Drawn-DB
Eaton, Pennsylvania 19341	Checked-AE
Phone: 610-903-0060	Sheet-3 OF 17
Fax: 610-903-0080	
Plotted: 2/23/2017	File: F:\JWB\4062\4062-B1.pro

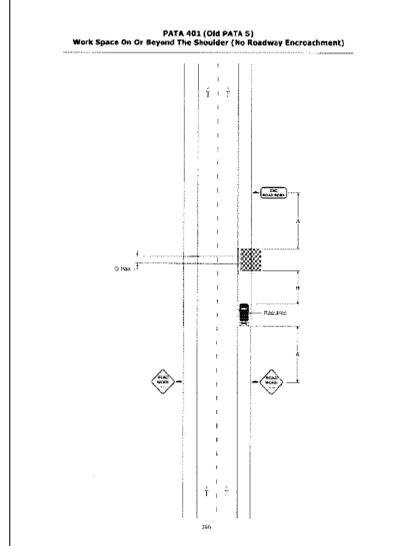
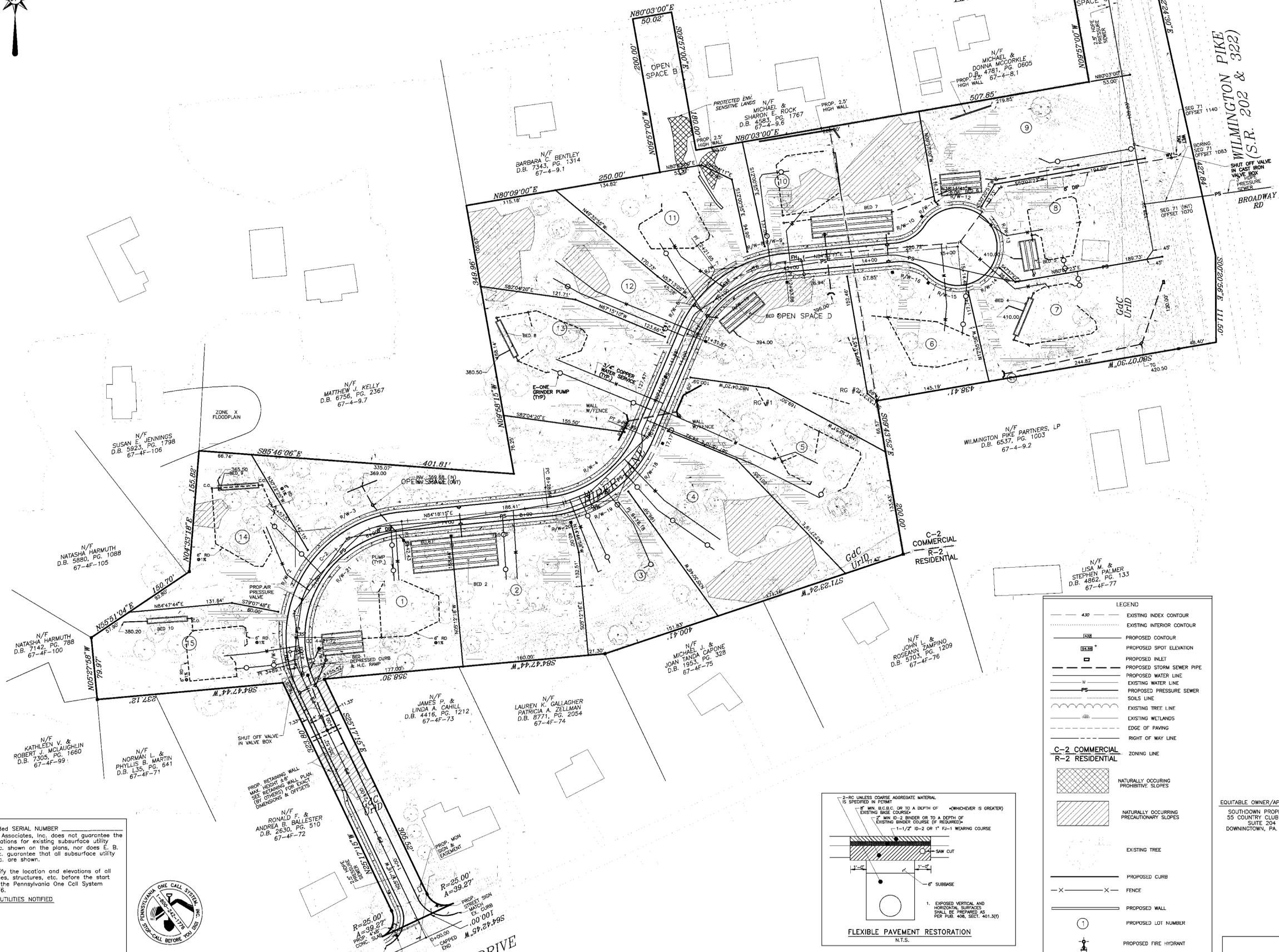
7 2-23-17 NOT THIS SHEET
6 2-6-17 REVISED PER CCCD COMMENTS OF 1-31-16
5 12-20-16 REVISED PER CCCD COMMENTS OF 11-23-16

- SEWER NOTES:
1. PRESSURE SEWER TO BE DIRECTLY BORED UNDER ROUTE 202 WITHIN A 6" SLEEVE USING PIPE SPACERS TO EXISTING MANHOLE.
 2. ALL 5 MANHOLES BELOW THE TIE-IN POINT THAT ARE LOCATED IN WESTTOWN MUST BE EPOXY COATED.
 3. CONTRACTOR IS ADVISED THAT ALL BEND ANGLE CONNECTIONS MUST BE HEAT FUSED HDPE.

SOILS CLASSIFICATION	
GdC	GLADSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
UrLD	URBAN LAND-GLADSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
GdB	GLADSTONE GRAVELLY LOAM, 3 TO 8% SLOPES



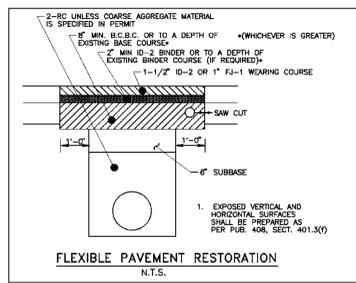
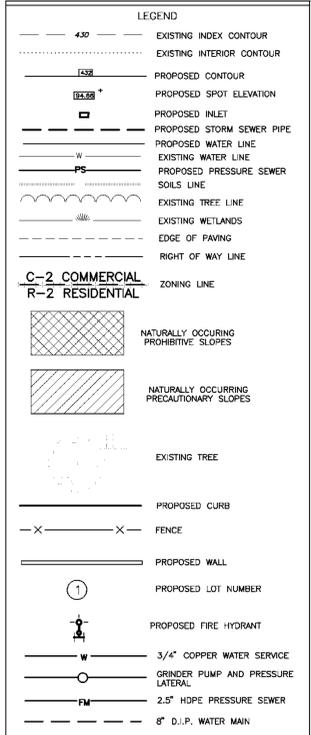
LOCATION MAP
SCALE: 1"=2000'



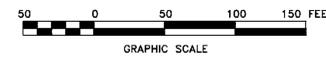
DATA 401 (Old PATA 5) - Notes

1. The roadway vehicle and traffic control devices are not required if the work space is outside the highway right-of-way, unless noted, upon the posted signs or 30' or more from the edge of the roadway.
2. For operations of 60 minutes or less, all traffic control devices are not required.
3. Refer to PATA 101 for updating advance warning signs for freeways and expressways.

Sign	Distance and Spacing Quick Reference Chart
10-1	...



NOTE: SEE PROFILES AND DETAIL SHEETS FOR ELEVATIONS AND INVERTS



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UPI NO. 67-4-9

PRELIMINARY/FINAL UTILITIES PLAN

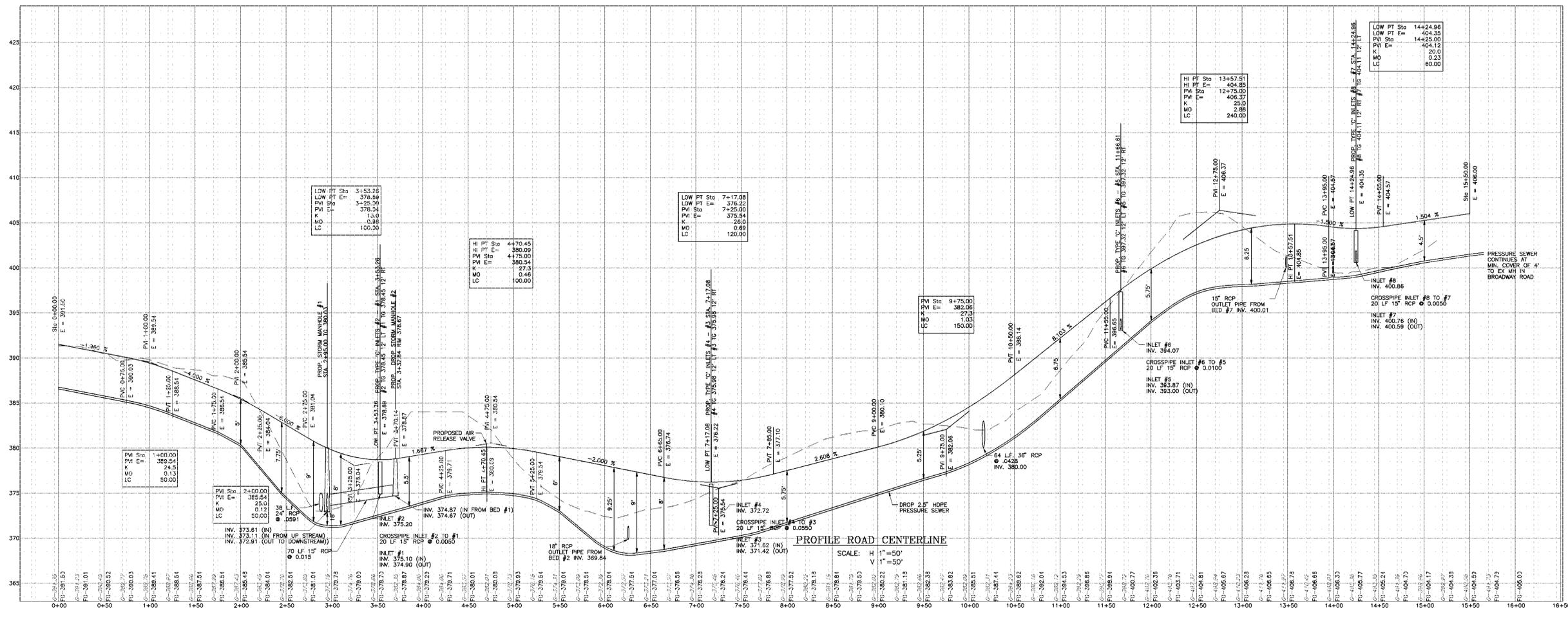
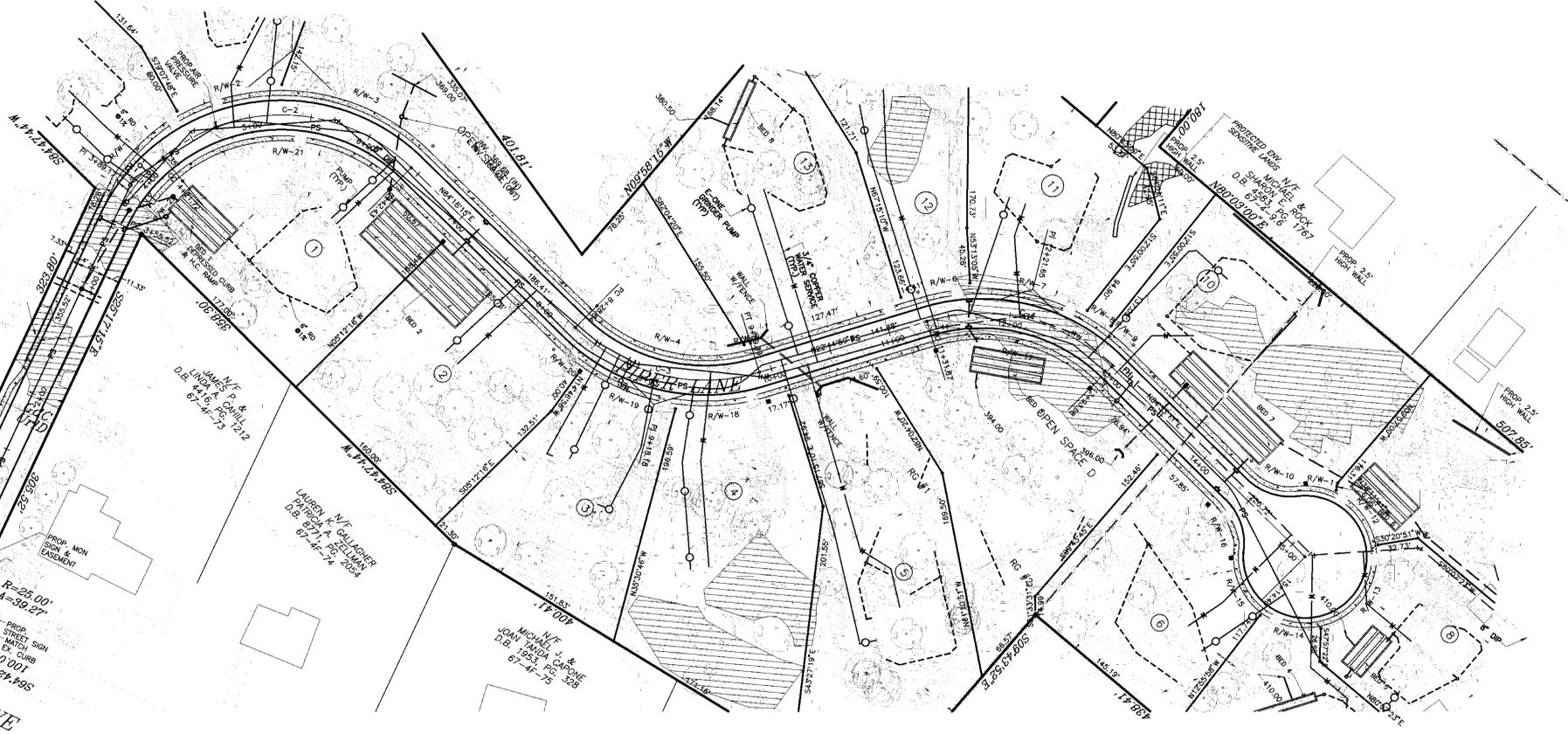
EQUITABLE OWNER/APPLICANT
SOUTHDOWN PROPERTIES
55 COUNTRY CLUB DRIVE
SUITE 204
DOWNTOWN, PA 19335

7	2-23-17	REVISED ENTRANCE ROAD WALL
6	2-6-17	REVISED PER CCDD COMMENTS OF 01-31-16
5	12-20-16	REVISED PER CCDD COMMENTS OF 11-23-16
4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCDD COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 AND 9-2-16.
1	8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS

PLAN OF SUBDIVISION FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 Downing Forge Rd.
Eaton, Pennsylvania 19341
Phone: 610-903-0060
Fax: 610-903-0080
Project-4062
Date-3/17/16
Scale-1"=50'
Drawn-DB
Checked-AE
Sheet-5 OF 17
Plotted: 2/23/2017 PUE: F:\J\4062\4062-B1.prc

JACQUELINE DRIVE



PRELIMINARY/FINAL
PLAN AND PROFILE SHEET

4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCCC COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 AND 9-2-16.
1	8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS

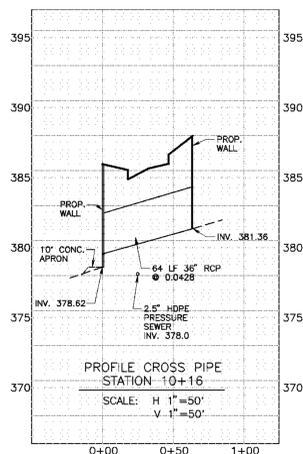
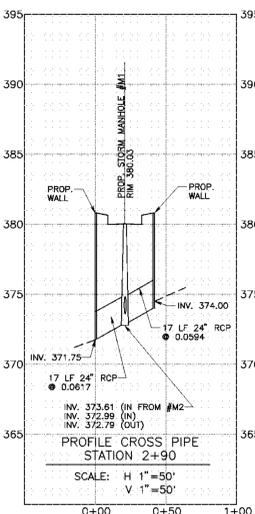
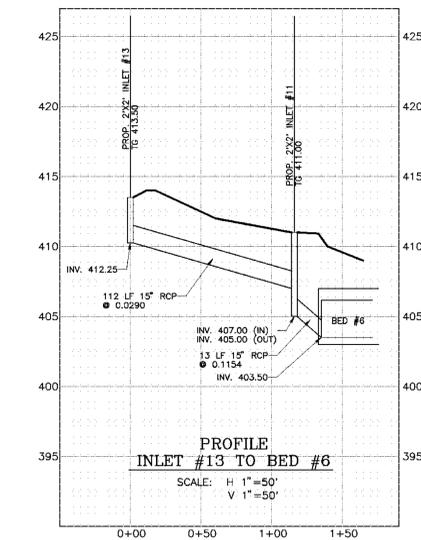
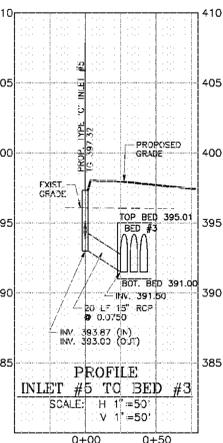
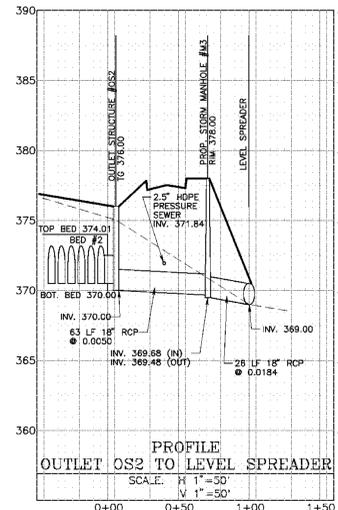
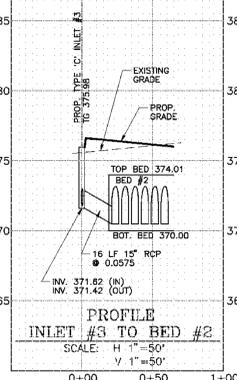
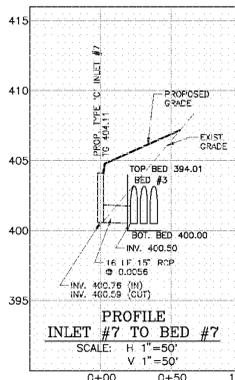
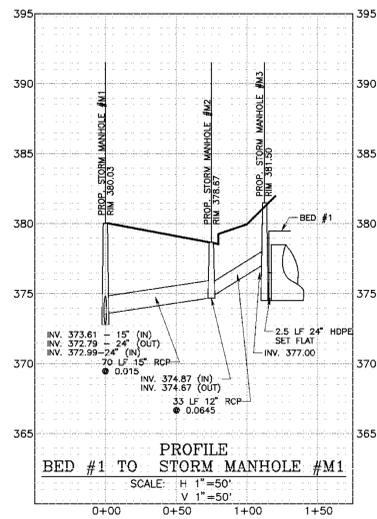
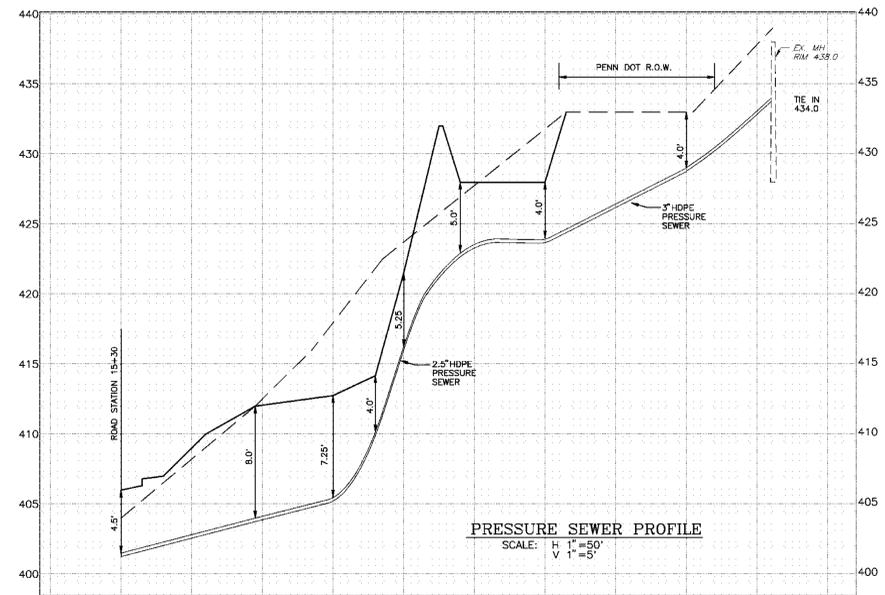
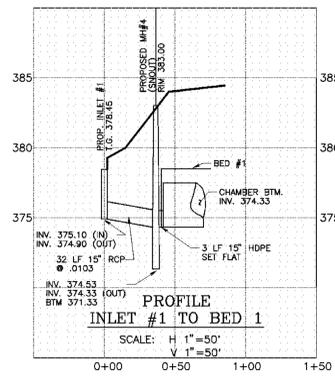
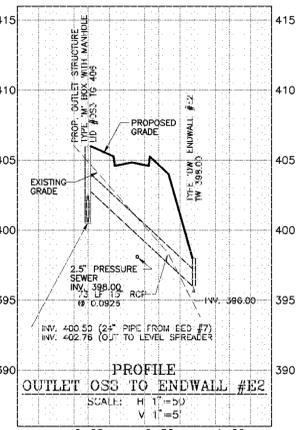
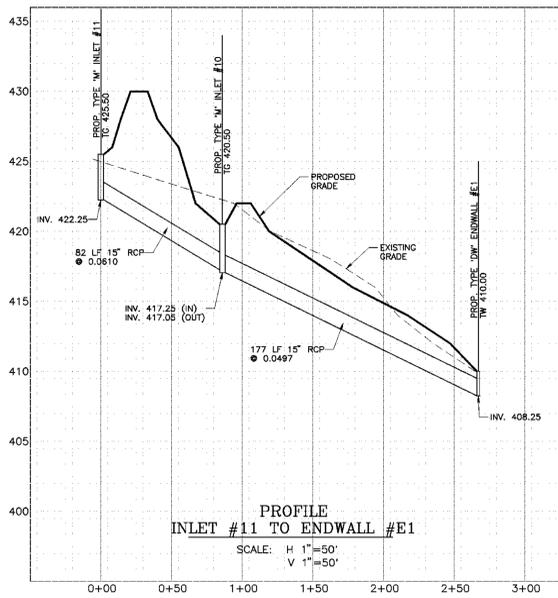
PLAN OF SUBDIVISION
FOR
WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
LIONESS PROFESSIONAL CENTER
125 Downin Forge Rd.
Eaton, Pennsylvania 19341
Phone: 610-903-0060
Fax: 610-903-0080

Project-4062
Date-3/17/16
Scale-1" = 50'
Drawn-DB
Checked-AE
Sheet-6 OF 17

7 2-23-17 REVISED ENTRANCE ROAD WALL
6 2-9-17 REVISED PER CCCC COMMENTS OF 1-31-16
5 12-20-16 REVISED PER CCCC COMMENTS OF 11-23-16

Plotted: 2/23/2017 P:\B\4062\4062-B1.pro



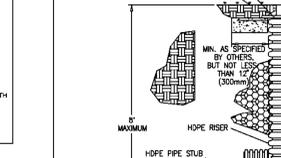
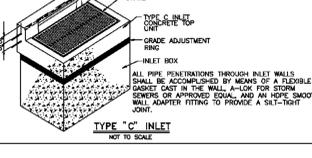
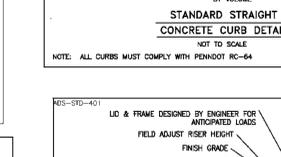
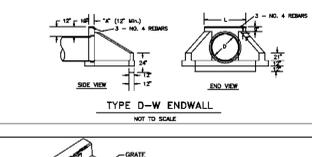
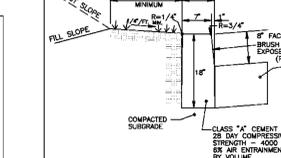
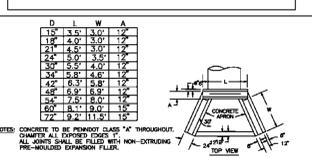
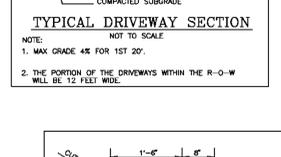
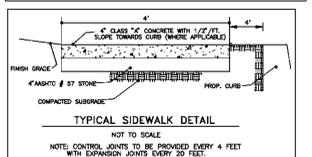
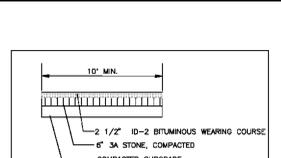
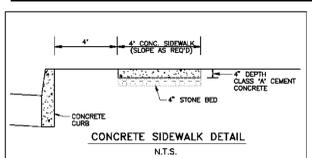
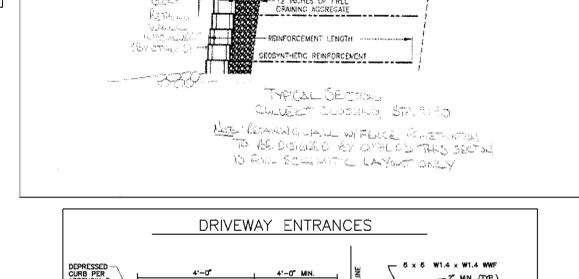
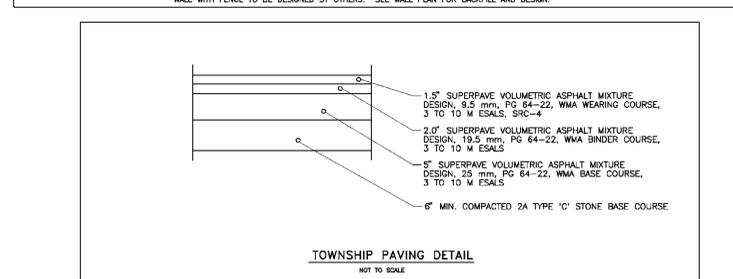
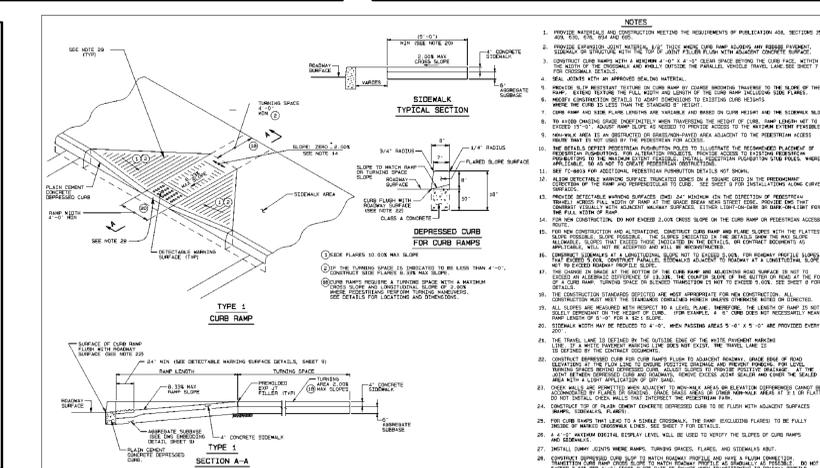
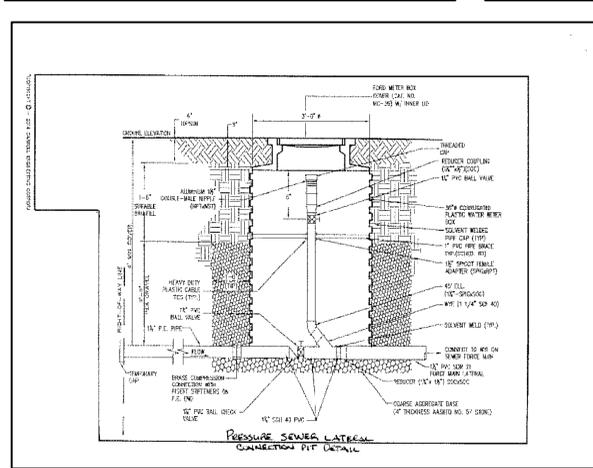
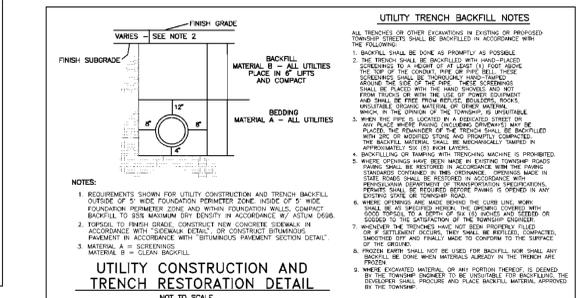
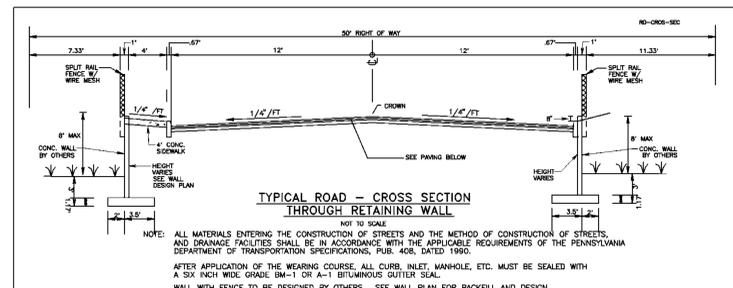
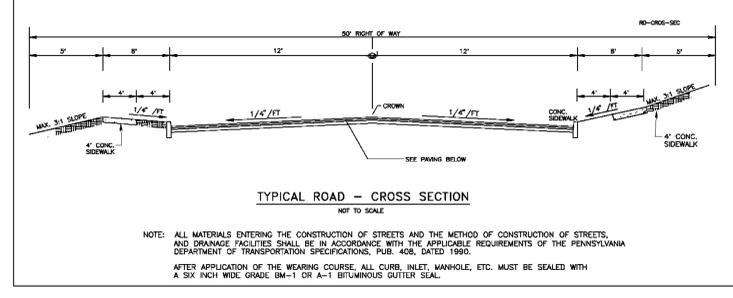
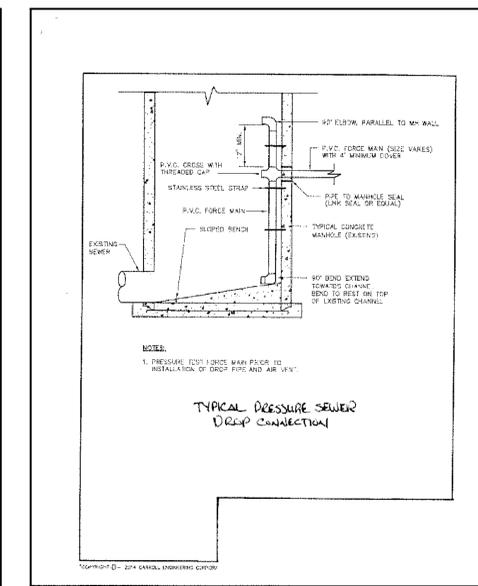
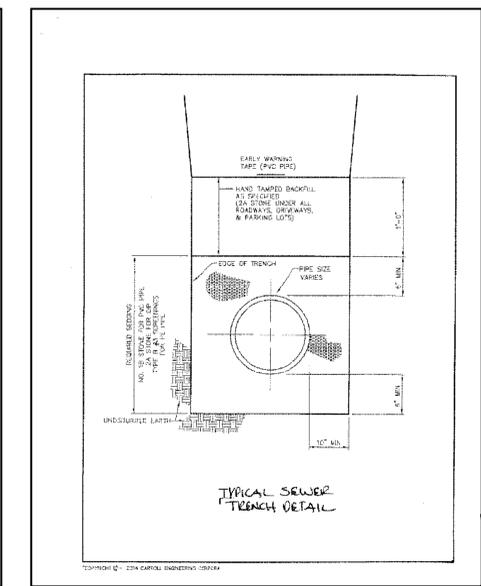
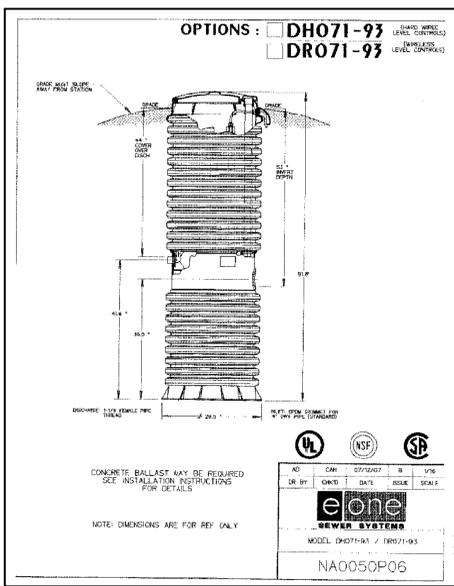
PRELIMINARY/FINAL
PROFILE SHEET

- 4 11-29-16 REVISED PER TOWNSHIP ENGINEER'S COMMENTS
- 3 10-6-16 REVISED PER CCDD COMMENTS
- 2 9-27-16 REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 and 9-2-16.
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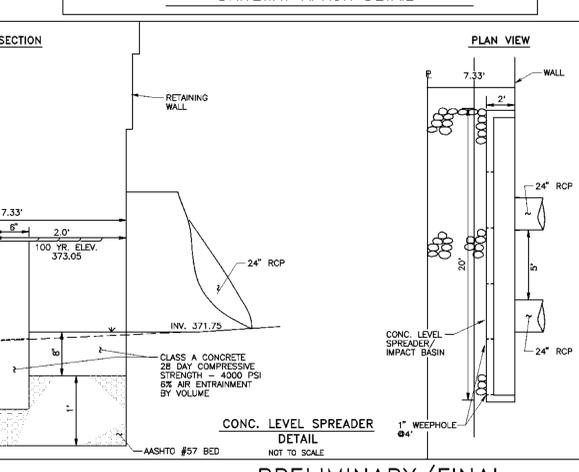
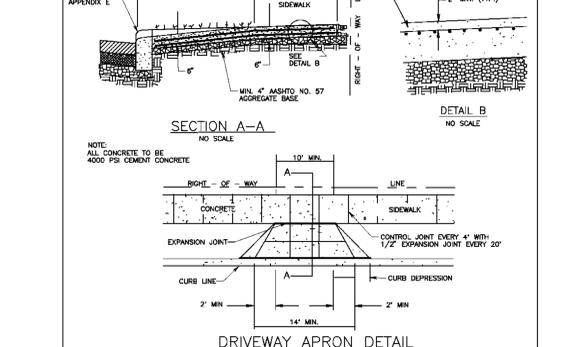
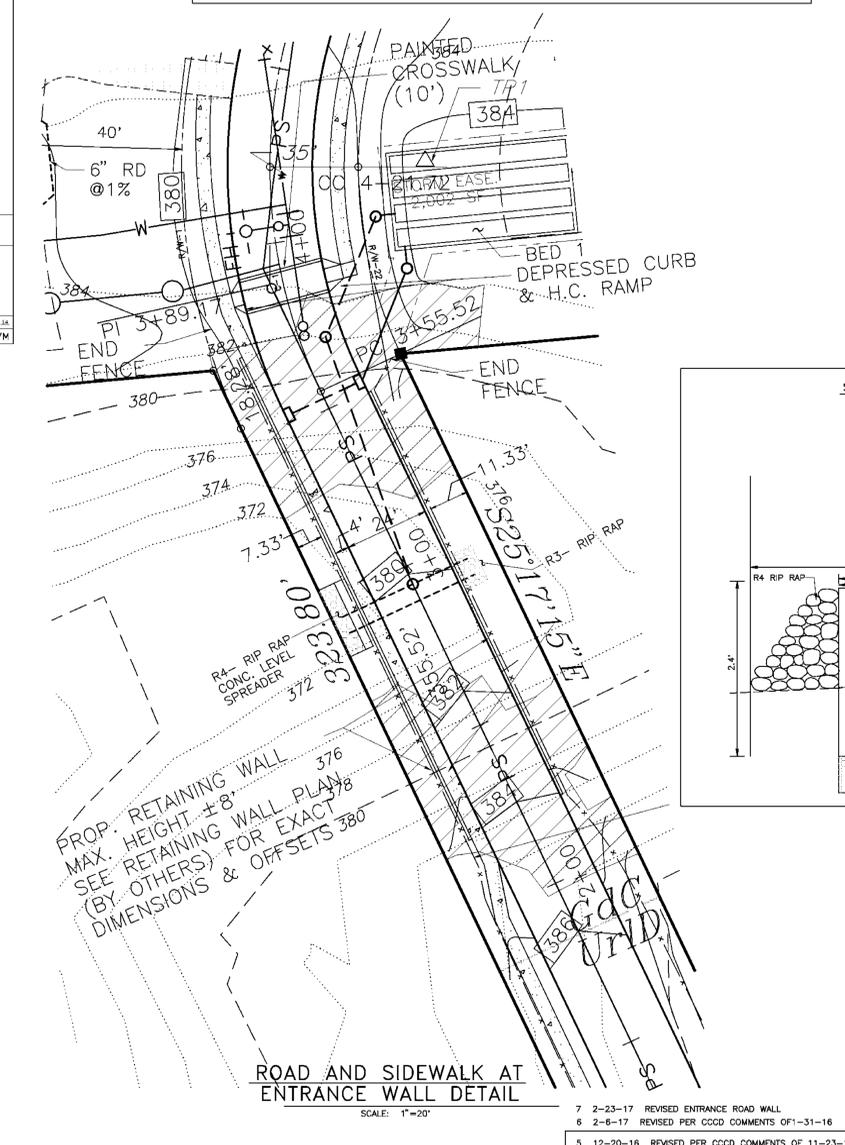
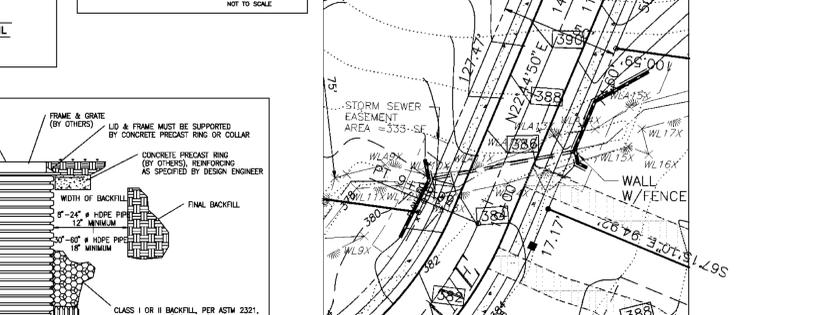
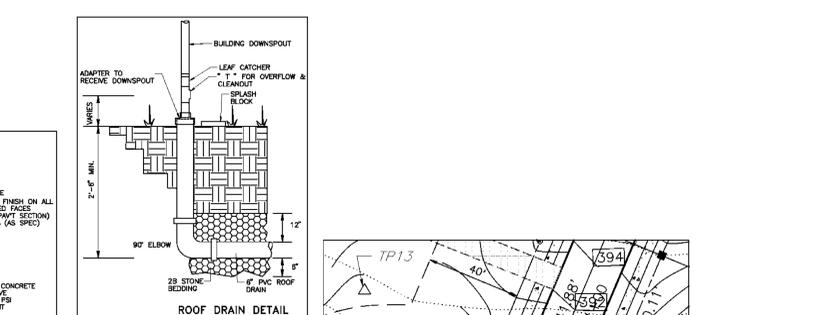
PLAN OF SUBDIVISION
FOR
WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS
LIONVILLE PROFESSIONAL CENTER
125 DOWLIN FORGE RD.
EXTON, PENNSYLVANIA 19341
PHONE: 610-903-0060
FAX: 610-903-0080

Project-4062
Date-3/17/16
Scale-1"=50'
Drawn-MF
Checked-AE
Sheet-7 OF 17



PERCENT	EQUIVALENT
1.0	1:10
2.0	1:5
3.0	1:3.33
4.0	1:2.5
5.0	1:2
6.0	1:1.67
7.0	1:1.43
8.0	1:1.25
9.0	1:1.11
10.0	1:1



4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER CCCC COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-2-16 AND 9-2-16.
1	8-18-16	REVISIONS PER ENGINEER'S & TOWNSHIP STAFF REVIEW COMMENTS

PLAN OF SUBDIVISION FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
 Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 DOWDIN FORGE RD.
 ETON, PENNSYLVANIA 19341
 Phone: 610-903-0060
 Fax: 610-903-0080

Project-4062
 Date-3/17/16
 Scale-1"=50'
 Drawn-DB
 Checked-AE
 Sheet-8 OF 17

SOILS SERIES AND MAP SYMBOL	DEPTH TO SEASONAL WATER TABLE (FT.)	DEPTH TO BEDROCK (FT.)	PERMEABILITY (INCHES/PER HOUR)	AVAILABLE MOISTURE CAPACITY (IN. PER IN. OF SOIL DEPTH)	REACTION PH	SUITABILITY AS SOURCE OF TOPSOIL	SUITABILITY AS SOURCE OF ROAD FILL
Claystone Glc Glc	5+	5+	9.17 22.30	.14 .14	6.3 6.1	Fair	Fair

SOIL NOTE

- The site contains mapped Worsham Soils that have been tested and found not to present to the extent mapped. The Worsham Soils are limited to the shaded area depicted on the plan.
- If any wet or unsuitable soils are encountered through the course of construction, they shall not be used to construct roadways, basin berms or other structural fill.

SOILS CLASSIFICATION

- G/C GLAUSTONE GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES
- U/LD URBAN LAND-GLAUSTONE COMPLEX, 5 TO 25 PERCENT SLOPES
- G/B GLAUSTONE GRAVELLY LOAM, 3 TO 8% SLOPES

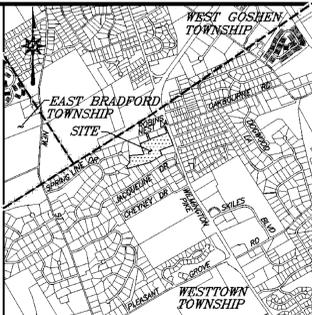
STABILIZATION NOTE
An area shall be considered to have achieved final stabilization when it has a minimum uniform topsoil vegetative cover of 50% permanent vegetative cover with a 50% silt/silt/clay ratio. The contractor shall be responsible for the maintenance of such cover until the site is fully stabilized. The contractor shall be responsible for the maintenance of such cover until the site is fully stabilized. The contractor shall be responsible for the maintenance of such cover until the site is fully stabilized.

PAST AND PRESENT USES
THE SITE HAS BEEN USED AS AGRICULTURAL PURPOSES 50 YEARS AGO UNTIL THE LAST 20 YEARS WHEN IT HAS BEEN LEFT TO BECOME WOODLAND.
POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S INCLUDE THE FOLLOWING:
1. INFILTRATION BEDS 1,2,3,4,5,7,8,9,10
2. SWALES 1,2
3. LANDSCAPE RESTORATION (SEE LANDSCAPE PLAN)
4. LANDSCAPE RESTORATION (SEE LANDSCAPE PLAN)
BMP CONSTRUCTION INSPECTIONS & ENGINEERING OVERSIGHT
1. INFILTRATION BEDS 1,2,3,4,5,7,8,9,10
2. SWALES 1,2
3. LANDSCAPE RESTORATION (SEE LANDSCAPE PLAN)
GEOLOGIC FORMATIONS
THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

WATERSHED: UNNAMED TRIBUTARY OF PLUM RUN WWF MH

NOTE: A WAIVER HAS BEEN OBTAINED FROM THE DEP FOR CHAPTER 105 RELATIVE TO THE STREAM WETLAND AREAS.

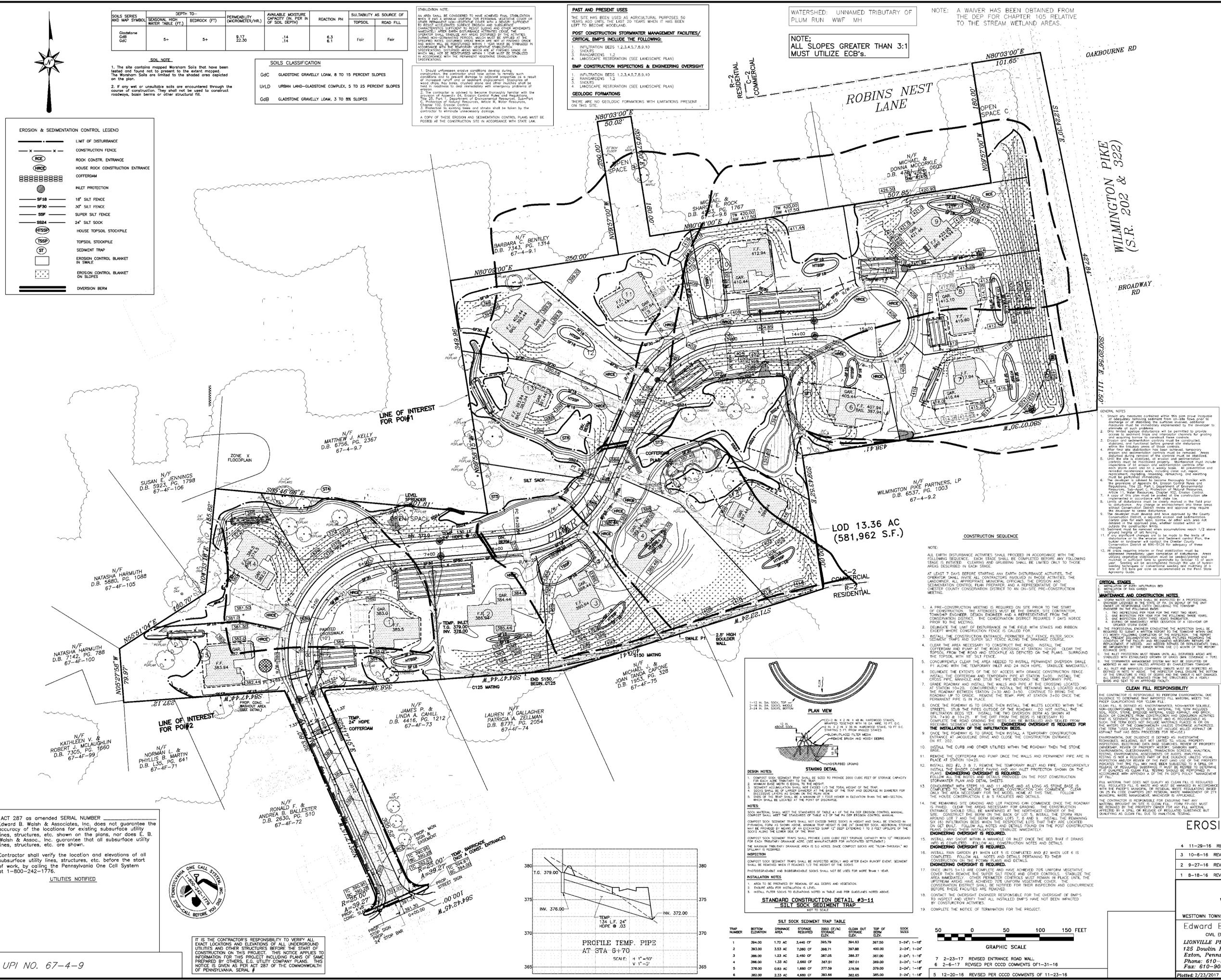
NOTE: ALL SLOPES GREATER THAN 3:1 MUST UTILIZE ECB'S.



LOCATION MAP
Scale: 1"=2000'

EROSION & SEDIMENTATION CONTROL LEGEND

- LIMIT OF DISTURBANCE
- CONSTRUCTION FENCE
- ROCK CONSTR. ENTRANCE
- HOUSE ROCK CONSTRUCTION ENTRANCE
- COFFERDAM
- INLET PROTECTION
- 18" SILT FENCE
- 30" SILT FENCE
- SUPER SILT FENCE
- 24" SILT SOCK
- HOUSE TOPSOIL STOCKPILE
- TOPSOIL STOCKPILE
- SEDIMENT TRAP
- EROSION CONTROL BLANKET IN SWALE
- EROSION CONTROL BLANKET ON SLOPES
- DIVERSION BERM



EROSION AND SEDIMENTATION CONTROL NOTES

- BEFORE INITIATING ANY DISTURBANCE TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR BEFORE THE START OF CONSTRUCTION, THE OPERATOR MUST OBTAIN APPROVAL OF THE EROSION AND SEDIMENT CONTROL PLAN FROM THE TOWNSHIP ENGINEER. THE OPERATOR SHALL MAINTAIN THE EROSION AND SEDIMENT CONTROL PLAN THROUGHOUT CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
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GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
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GENERAL BMP AND EAS NOTES

- ALL OF THE BMP'S IDENTIFIED/PROPOSED ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHEETS AND THE NOTES ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES. THE OPERATOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
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PRELIMINARY/FINAL EROSION AND SEDIMENTATION CONTROL PLAN

4	11-29-16	REVISED PER TOWNSHIP ENGINEER'S COMMENTS
3	10-6-16	REVISED PER OCCC COMMENTS
2	9-27-16	REVISIONS PER ENGINEER'S COMMENTS OF 9-1-16 AND 9-2-16.
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PLAN OF SUBDIVISION FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA.
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
125 DOWLING FORGE RD.
ESTON, PENNSYLVANIA 19341
Phone: 610-903-0060
Fax: 610-903-0080

Project-4072
Date-3/17/16
Scale-1"=50'
Drawn-DJD
Checked-AE
Sheet-9 OF 17

ACT 287 as amended SERIAL NUMBER
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1176.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT. THIS NOTICE APPLIES TO INFORMATION FOR THIS PROJECT IN 2-DIMENSIONAL PLANS OF SAME PREPARED BY OTHERS, E.G. UTILITY COMPANY PLANS. THIS NOTICE IS GIVEN AS PER ACT 287 OF THE COMMONWEALTH OF PENNSYLVANIA, SERIAL #

UTILITIES NOTIFIED



NON-F
RONALD F. BALLESTER
D.B. 2630, PG. 510
67-4F-72

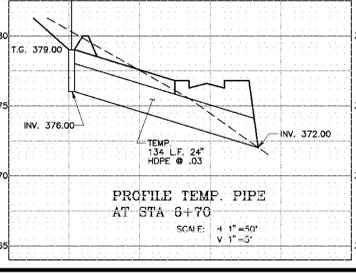
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NON-F
ANDREA B. BALLESTER
D.B. 2630, PG. 510
67-4F-72

NON-F
MICHAEL J. CARONE
D.B. 67-4F-75

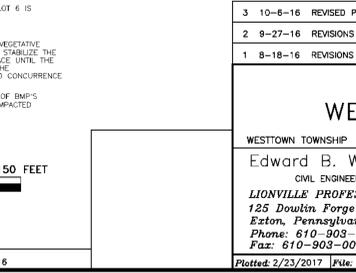
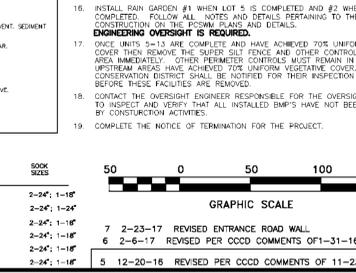
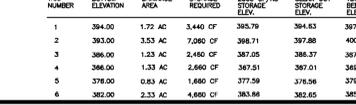
NON-F
JOAN TAYLOR
D.B. 67-4F-75

NON-F
MICHAEL J. CARONE
D.B. 67-4F-75



SILT SOCK SEDIMENT TRAP TABLE

TRAP NUMBER	BOTTOM ELEVATION	DRAINAGE AREA	STORAGE CAPACITY	2000 CFS/AC STORM ELEV.	CLEAN OUT ELEV.	TOP OF SOCK ELEV.	SOCK ELEV.
1	384.00	1.72 AC	3.440 CF	384.75	387.50	390.25	392.00
2	383.00	1.53 AC	3.060 CF	383.75	386.50	389.25	391.00
3	386.00	1.23 AC	2.460 CF	387.00	389.75	392.50	394.25
4	386.00	1.23 AC	2.460 CF	387.00	389.75	392.50	394.25
5	376.00	0.83 AC	1.660 CF	377.50	379.50	381.50	383.50
6	382.00	2.23 AC	4.460 CF	382.75	385.50	388.25	391.00



7 2-23-17 REVISED ENTRANCE ROAD WALL.
6 2-6-17 REVISED PER OCCC COMMENTS 01-31-16
5 12-20-16 REVISED PER OCCC COMMENTS OF 11-23-16

PROPOSED CAST-IN-PLACE RETAINING WALL

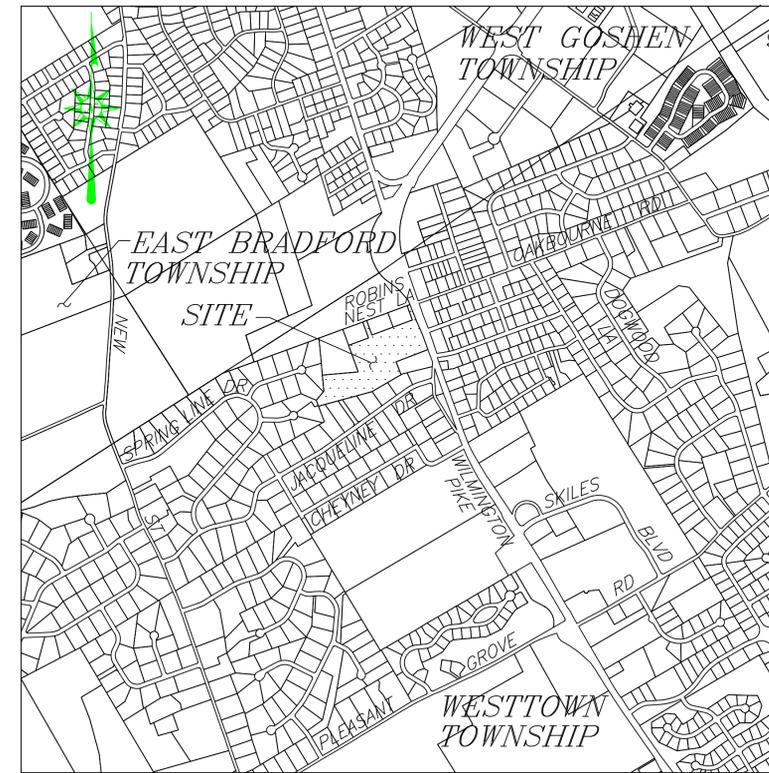
WESTTOWN WOODS

WESTTOWN TOWNSHIP, PENNSYLVANIA

GENERAL NOTES:

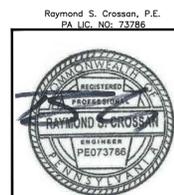
- THIS PLAN IS FOR THE WALL DEPICTED. ANY OTHER WALLS ARE NOT PART OF THIS PLAN SET.
 - THE OWNER OR OWNER'S REPRESENTATIVE MUST RETAIN A GEOTECHNICAL ENGINEER TO EVALUATE ALL PHASES OF THE WALL CONSTRUCTION, INCLUDING THE SOIL CONDITIONS PRIOR TO CONSTRUCTION. UNSUITABLE SOILS, IF ANY, SHALL BE REMOVED AND REPLACED WITH PROPERLY COMPACTED FILL SOIL AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER. UNSUITABLE SOILS ARE DEFINED AS ANY SOIL THAT DOES NOT HAVE SUFFICIENT BEARING CAPACITY OR WILL CAUSE EXCESSIVE WALL SETTLEMENT. OWNER'S ENGINEER MUST BE QUALIFIED IN GEOTECHNICAL ENGINEERING AND RETAINING WALL INSPECTION, AND IS RESPONSIBLE FOR DOCUMENTING THAT ALL ASPECTS OF THE WALL CONSTRUCTION INCLUDING COMPACTION TESTING, AND DRAINAGE SYSTEM HAVE BEEN INSTALLED IN GENERAL ACCORDANCE WITH THESE PLANS.

IN PREPARATION OF THIS PLAN SET, SOIL STRENGTH PARAMETERS WERE ASSIGNED BY THE WALL DESIGN ENGINEER, BASED ON ASSUMPTIONS FROM AVAILABLE SOIL REPORTS. IT IS THE RESPONSIBILITY OF THE OWNER OR OWNER'S REPRESENTATIVE TO VERIFY THE ASSUMED SOIL STRENGTH PARAMETERS ARE REPRESENTATIVE OF THE SOILS AVAILABLE FOR WALL CONSTRUCTION. IF THE SOIL STRENGTH PARAMETERS ARE FOUND TO BE INCONSISTENT WITH THOSE ASSUMED BY THE WALL DESIGN ENGINEER, THIS PLAN SET IS NO LONGER VALID AND IT IS THE RESPONSIBILITY OF THE OWNER OR OWNER'S REPRESENTATIVE TO NOTIFY THE WALL DESIGN ENGINEER SO THE RETAINING WALL CAN BE REDESIGNED.
- | 1. ASSIGNED DESIGN SOIL PARAMETERS | | | | |
|------------------------------------|-----------------|---------------------|------------------|---------------|
| SOIL_ZONE | SOIL_CLASS_REQD | MIN. FRICTION ANGLE | MIN. UNIT WEIGHT | MAX. COHESION |
| RETAINED SOIL | SM OR COURSER | 30 DEGREES | 110 PCF | C=0 |
| FOUNDATION SOIL | SM OR COURSER | 30 DEGREES | 110 PCF | C=0 |
- ANY OVER EXCAVATION BELOW THE WALL SHOULD HAVE PROPER 1:1 LATERAL OVERSIZING. EXCAVATION OVERSIZING SHOULD BE MEASURED FROM THE FRONT OF THE GRAVEL LEVELING PAD AND THE BACK OF THE LOWEST REINFORCEMENT LAYER.
 - STATION 0+00 IS ON THE RIGHT END OF THE WALL AS SEEN FROM IN FRONT OF THE WALL. THE STATIONING SHOWN ON THIS PLAN SET IS UNIQUE FOR THIS WALL ONLY.
 - THIS SET OF RETAINING WALL PLANS IS BASED ON THE GRADING PLAN PREPARED BY EDWARD B. WALSH AND ASSOCIATES.
 - LOCATIONS OF THE RETAINING WALLS IN RELATION TO PROPERTY LINES, UTILITY EASEMENTS, WATERSHED EASEMENTS, OR ANY OTHER TYPE OF EASEMENTS ARE THE RESPONSIBILITY OF THE OWNER OR THE SITE CIVIL ENGINEER. THE WALL DESIGN ENGINEER ASSUMES NO LIABILITY FOR THE LOCATION OF THE RETAINING WALLS, OR IF CONSTRUCTION OF THE PROPOSED RETAINING WALLS ENCLOSES UPON ANY PROPERTY LINES OR EASEMENTS.
 - THE CONSTRUCTION STAKE-OUT OF ALL RETAINING WALLS MUST BE DONE BY A REGISTERED LAND SURVEYOR AND MUST BE BASED ON COMPUTER GENERATED SITE/GRADING PLANS AND NOT PROFILE PLANS BY THE WALL DESIGN ENGINEER.
 - EXCAVATION AND OTHER CONSTRUCTION ACTIVITIES CONDUCTED AFTER THE COMPLETION OF THE WALL SHOULD BE MINIMIZED IN THE RETAINED ZONE. INSTALLATION OF ALL UTILITIES IN CLOSE PROXIMITY TO WALLS SHALL BE CLOSELY COORDINATED WITH THE WALL INSTALLER AND SHALL OCCUR SIMULTANEOUSLY.
 - THE RETAINING WALLS HAVE BEEN DESIGNED TO ACCOMMODATE NORMAL POST-CONSTRUCTION VEHICULAR AND PEDESTRIAN TRAFFIC SURCHARGE LOADS EXPECTED DURING THE LIFE OF THE WALLS. EXCESSIVE SURCHARGE LOADS SUCH AS CONSTRUCTION EQUIPMENT, MATERIAL STOCKPILES, SNOW, ICE, ETC. MAY NOT BE PLACED ADJACENT TO THE TOP OF THE RETAINING WALLS. SUCH SURCHARGE LOADS MUST BE KEPT AT A MINIMUM HORIZONTAL DISTANCE AWAY EQUAL TO THE HEIGHT OF THE WALL.
 - GLOBAL STABILITY HAS BEEN CONSIDERED IN THE ANALYSIS OF THESE RETAINING WALLS. GLOBAL STABILITY IS NOT THE CONTROL ELEMENT IN THE DESIGN.



LOCATION MAP
SCALE: 1"=1000'

SHEET INDEX	
PAGE	DESCRIPTION
1	COVER PAGE
2	KEY PLAN & DETAILS
3	WALL ELEVATIONS
4	SPECIFICATIONS



South Jersey Office
208 South White Horse Pike
081 Horseshoe Pike
Germansville, PA 19343
484-251-0001
www.fidelis-engineering.com



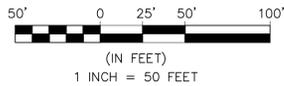
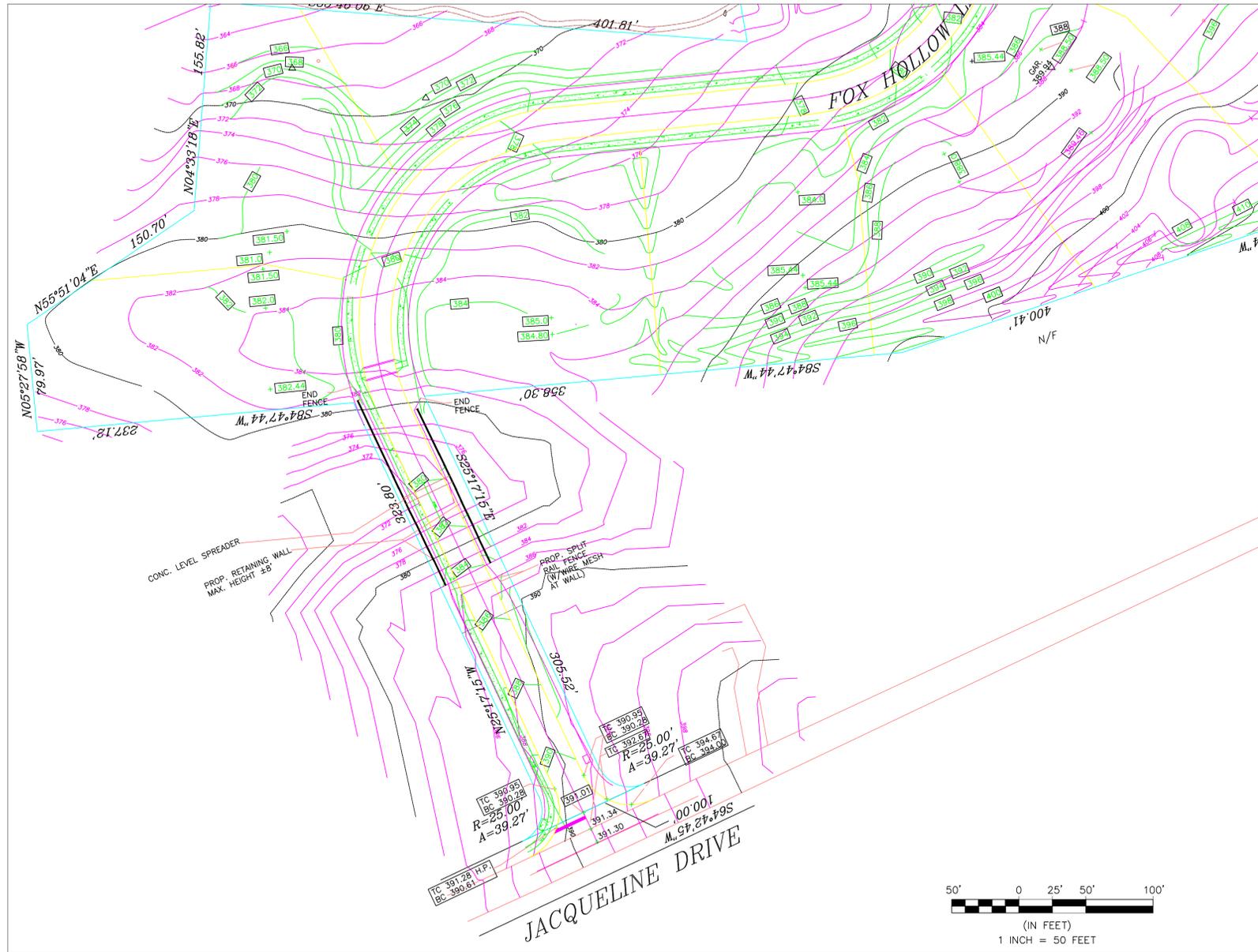
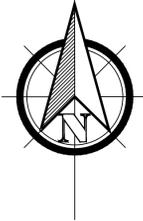
PREPARED FOR:
EDWARD B. WALSH AND ASSOCIATES, INC.
125 DOWNLIN FORGE ROAD, EXTON, PA 19341

NO.	DATE	BY	REVISION
1	2/22/17	RF	CONC. LEVEL SPREADER

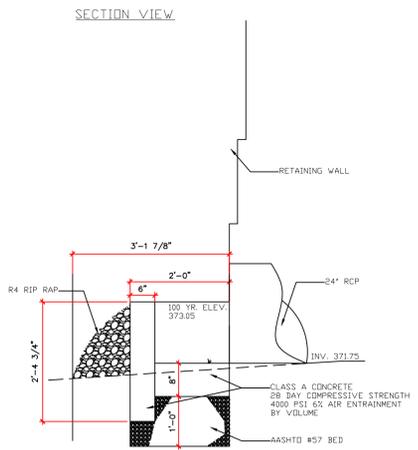
COVER PAGE
WESTTOWN WOODS
WESTTOWN TOWNSHIP, PENNSYLVANIA

Date: 1/23/17
Scale: AS SHOWN
Sheet No.: 1 OF 4
File No.: 17025

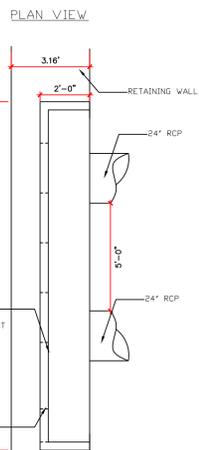
Westtown Woods Retaining Wall.dwg



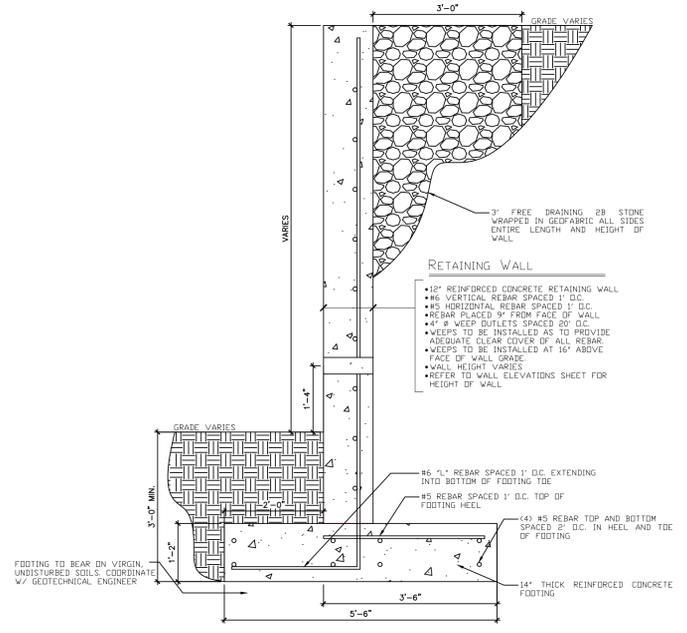
LEGEND	
	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FENCE
	PROPOSED WALL
	RIGHT OF WAY LINE



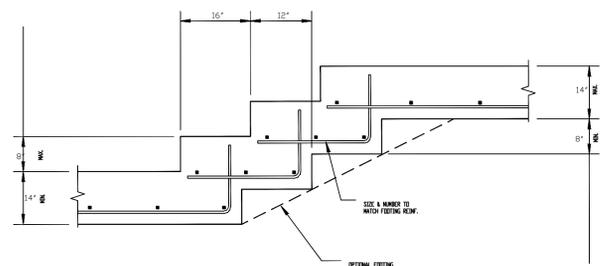
CONCRETE LEVEL SPREADER DETAIL
N.T.S.



- NOTES:**
1. WALL GEOMETRY, LOCATIONS, SLOPES, AND SURCHARGE LOADS FOR THE RETAINING WALLS WERE MEASURED FROM THE SITE GRADING PLAN AND PARTIALLY REPRODUCED ON THIS SHEET. IF CONDITIONS VARY IN THE FIELD FROM THOSE SHOWN, THE WALL DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO CONSTRUCTION TO REVIEW THE PLANS AND SPECIFICATIONS. MODIFICATIONS TO THESE PLANS AND SPECIFICATIONS MAY BE REQUIRED AFTER THE REVIEW.
 2. BACKFILL OF ANY UTILITIES THAT CROSS BENEATH OR PASS THROUGH THE WALL MUST BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY ACCORDING TO ASTM D698. IF ANY UTILITY CONFLICTS EXIST, THE WALL DESIGN ENGINEER MUST BE NOTIFIED PRIOR TO CONSTRUCTION TO REVIEW THE PLANS AND SPECIFICATIONS. MODIFICATIONS TO THESE PLANS AND SPECIFICATIONS MAY BE REQUIRED AFTER THE REVIEW.

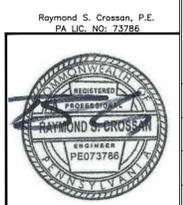


RETAINING WALL DETAIL TYP.



TYPICAL STEPPED FOOTING DETAIL

PENNSYLVANIA ONE CALL
Pursuant to the Acts 287, 172, 38 and all other applicable amendments ASH Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc., shown on the plan.
The contractor shall verify the location and elevations of all subsurface structures, utility lines, etc., before the start of work.
Telephone: (800) 242-1776.



South Jersey Office
708 South White Horse Pike
081 Horseshoe Plaz
Germantown, PA 19343
484-650-0501
www.fidelisinc.com

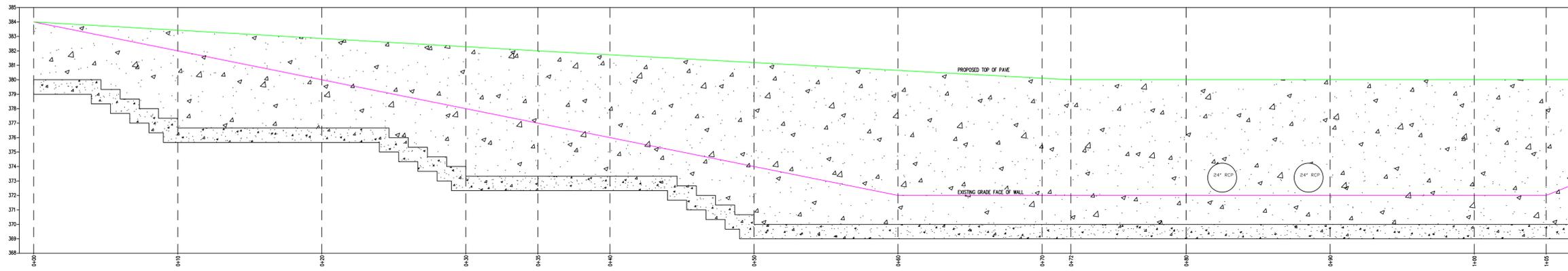
FIDELIS
ENGINEERING, INC.

PREPARED FOR:
EDWARD B. WALSH AND ASSOCIATES, INC.
125 DOWLIN FORGE ROAD, EXTON, PA 19341

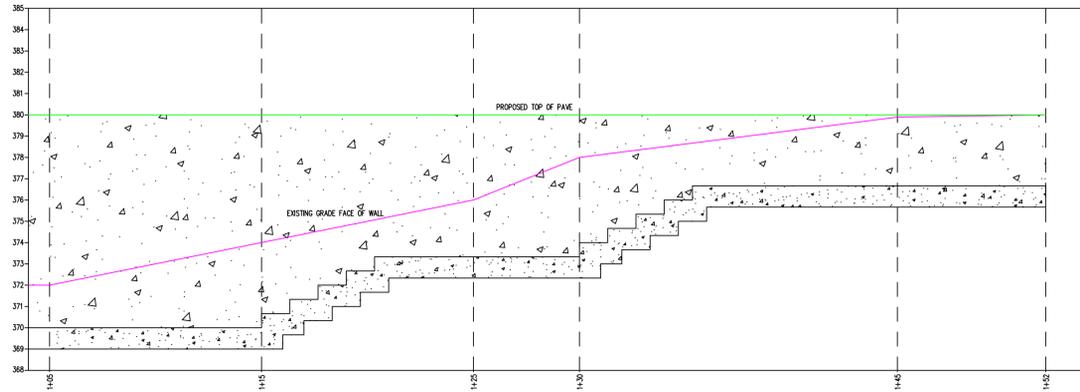
NO.	DATE	BY	REVISION
1	2/23/17	RF	CONC. LEVEL SPREADER

KEY PLAN & DETAILS
WESTTOWN WOODS
WESTTOWN TOWNSHIP, PENNSYLVANIA

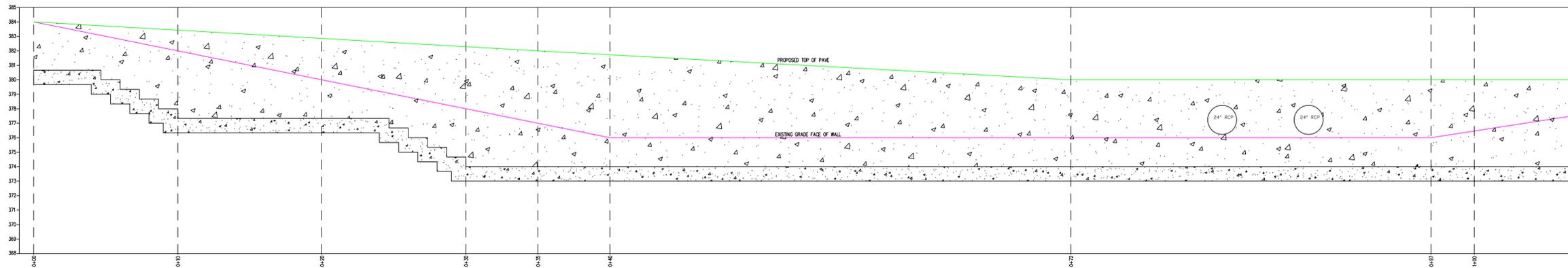
Date: 1/23/17
Scale: AS SHOWN
Sheet No.: 2 OF 4
File No.: 17025



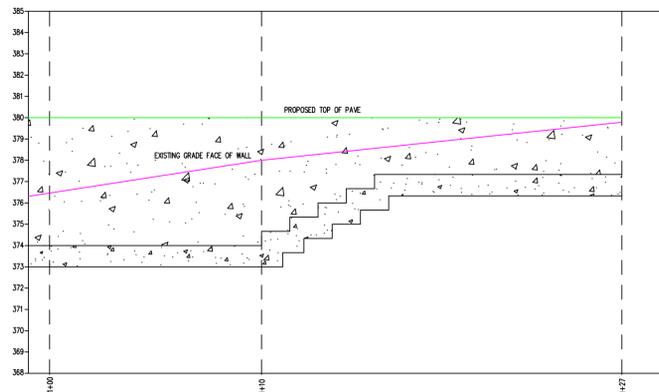
WEST RETAINING WALL
SCALE: 1/4" = 1'-0"



WEST RETAINING WALL
SCALE: 1/4" = 1'-0"



EAST RETAINING WALL
SCALE: 1/4" = 1'-0"



EAST RETAINING WALL
SCALE: 1/4" = 1'-0"

NOTES:

1. STATION 0+00 REPRESENTS THE SOUTHERN MOST POINT ON ANY RETAINING WALL.
2. STATIONS AND GRADES DEPICTED ARE NOT EXACT AND SHALL BE VERIFIED IN FIELD.

Raymond S. Crosson, P.E.
PA. LIC. NO. 73786



WALL ELEVATIONS

WESTTOWN WOODS
WESTTOWN TOWNSHIP, PENNSYLVANIA

PREPARED FOR:

EDWARD B. WALSH AND ASSOCIATES, INC.
127 DOWNL FORGE ROAD, EXTON, PA 19341



Southeastern PA Office
691 Horatio Pike
Germantown, PA 19343
484-650-0501
www.fidelisengineering.com

NO.	DATE	BY	REVISION
1	2/23/17	CONC. LEVEL SPREADER	RF

Date: 1/23/17
Scale: AS SHOWN
Sheet No.: 3 OF 4
File No.: 17025



December 2, 2016

Mr. Chris Patriarca
Planning and Zoning Administrator
Westtown Township
1039 Wilmington Pike
West Chester, PA 19382

**RE: Westtown Woods Subdivision
Preliminary / Final Land Development Application – 4th Review (Plans Dated 03-17-16,
Revised 11-29-16)
Address: 1010 Wilmington Pike, West Chester, PA 19382
Record Owner: Westtown Woods, LP
Applicant / Equitable Owner: Southdown Homes
Zoning: Highway Commercial District (C-2) Suburban Residential District (R-2)
TPN/UIP: 67-4-9
MT No.: 5675.15**

Dear Mr. Patriarca:

We are in receipt of the following information submitted by Edward B. Walsh & Associates, Inc. on behalf of the applicant, Southdown Homes:

- 1) *(Preliminary / Final) Plan of Subdivision for Westtown Woods*, sheets 1 to 17, dated March 17, 2016, Last revised November 29, 2016.

PROJECT OVERVIEW

The applicant is proposing to subdivide a 12.70 net acre (ac) parcel (14.041 gross acres) into 15 individual lots for single family dwellings, along with 4 areas to be considered as open space, a new roadway with access from Jacqueline Drive, an overall stormwater management system, and associated improvements. The 15 individual lots are to be serviced with public water and sewer. The proposed subdivision is surrounded by Wilmington Pike (SR 0202 / SR 0322 Business) to the east, Robins Nest Lane to the north, Jacqueline Drive to the south, and North and South Deerwood Drive to the west.

VARIANCES: To date, no variances have been formally requested.

WAIVERS: The following ten (10) waivers have been requested:

1. **§149-901.F** – The maximum permitted length of a roadway with a cul-de-sac is 1,500 feet in length. The applicant is requesting to permit a roadway with a cul-de-sac length 1552.40 feet.
2. **§149-600** – Preliminary plan approval is required prior to final plan review. The applicant is requesting the application be considered preliminary / final.
3. **§149-920.B** – Easements shall be a minimum width of 20 feet wide. The applicant is requesting to permit easement widths less than 20 feet wide (4' wide appears to be the smallest width proposed).
4. **§144-311.B.2** – Storm sewers shall consist of concrete pipes within the right-of-way of all streets. The applicant is requesting to permit high density polyethylene (HDPE) in lieu of concrete pipes.



5. **§149-910.B** – Grading shall be completed to the full width of the right-of-way. Banks shall be sloped not less than three horizontal to one vertical with top of slopes rounded. The applicant is requesting a waiver to permit the placement of a wall between station 2+50 to 3+50.
6. **§149-924.D** – A tree protection management plan must be submitted at the time of preliminary plan application if there are 10 or more viable trees proposed to be cut or removed from a property. The applicant is requesting a waiver to not provide a tree protection plan.
7. **§149-925.H** – The applicant shall ensure the Plant Schedule of sheet 15 meets the minimum planting size requirements. Deciduous trees shall be a minimum of 3.5 inch caliper and evergreen trees shall be a minimum of 8 feet in height. The applicant is requesting a waiver from this section to allow for a small initial diameter of ornamental trees.
8. **§149-925.I** – Shrubs and trees shall not be placed closer than 10 feet from any side or rear property line or five feet from the street line (right-of-way). The applicant has requested that trees can be placed closer than 10 feet from property line.
9. **§144-306.K.2** – All infiltration practices shall be set back at least 100 feet up gradient from all buildings and features with subgrade elements. The applicant is requesting a waiver to permit an infiltration bed within the 100 foot upstream gradient.
10. **§144-306.K.3** – For any infiltration practice that collects runoff that is located within 50 feet of a building or feature with subgrade elements, the bottom elevation shall be set below the elevation of the subgrade element. The applicant is requesting a waiver to permit an infiltration bed within 50 feet of a building.

PURPOSE

The purpose of this review is to determine if the application complies with the Westtown Township Ordinances, specifically Zoning (**§170**); Subdivision of Land (**§149**); Stormwater Management (**§144**); and Erosion, Sediment Control and Grading (**§80**); as well as reasonable and customary engineering standards.

Comments from McCormick Taylor's 3rd Preliminary/Final Subdivision and Land Development Review letter dated October 28, 2016, and the supplemental memo dated November 8, 2016 that have been satisfactorily addressed have been removed from this letter. The remaining comments are *italicized*, and our responses based on this submission are contained below in **bold**.

The following comments are offered for your consideration:

SUBDIVISION AND LAND DEVELOPMENT

1. **§149-910.B** – *Grading shall be completed to the full width of the right-of-way. Banks shall be sloped not less than three horizontal to one vertical (3:1) with top of slopes rounded. The applicant has proposed areas exceeding (3:1) slope within the right-of-way.*

McCormick Taylor Response (12-02-2016): The applicant has requested a waiver for this section to allow for the placement of a wall between station 2+50 and 3+50. For the area of the construction of the wall, we have no objection to the waiver request.

2. **§149-918.A.4** – *The applicant shall coordinate with the fire company responsible for serving the site as to the adequacy of access for emergency vehicles, existing fire hydrants, and the sufficiency of available water for fire-fighting purposes. In addition, all correspondence with*

the fire company should be provided for review.

McCormick Taylor Response (12-02-2016): The applicant has stated that coordination with the fire company is ongoing, but no correspondence has been provided for review.

3. **§149-924.D** – *A tree protection management plan must be submitted at the time of preliminary plan application if there are ten (10) or more viable trees proposed to be cut or removed from a property. The applicant has provided a Tree Removal Plan (sheet 3) and a Landscaping Plan (sheet 15) in lieu of the tree protection plan. It appears the proposed plans meet the intent of the tree protection plan; however, a waiver may be required.*

McCormick Taylor Response (12-02-2016): The applicant is requesting a waiver to not provide a tree protection plan. As the plan contains the information required under this section via the landscaping and demolition plan, we have no objection to this requirement.

4. **§149-925.H** – *The applicant shall ensure the Plant Schedule of sheet 15 meets the minimum planting size requirements. Deciduous trees shall be a minimum of 3.5 inch caliper and evergreen trees shall be a minimum of 8 feet in height.*

McCormick Taylor Response (12-02-2016): The applicant is requesting a waiver from this section to allow for a smaller (2-2.5”) initial diameter of ornamental trees. We have coordinated with local tree suppliers who have confirmed the shortage of available (3.5”) trees to meet the ordinance. We have no objection to this waiver.

5. **§149-925.I** – *Shrubs and trees shall not be placed closer than 10 feet from any side or rear property line or five feet from the street line (right-of-way). The applicant has proposed trees on side and rear property lines. In addition, Landscape Note number 31 on sheet 15 indicates a reduction of 5 feet from property lines. The applicant may require a waiver.*

McCormick Taylor Response (12-02-2016): The applicant is requesting a waiver from this section for the requirements for the property lines. The applicant has requested that trees can be placed closer than ten (10) feet from property line. We have no objection to this waiver.

STORMWATER MANAGEMENT

6. **§144-306.K.2** – *Infiltration beds shall be set back at least 100 feet up gradient and 10 feet down gradient from all buildings and features with subgrade elements (e.g., basements, foundation walls, etc.), unless otherwise approved by the Municipal Engineer. The applicant should provide a tabulation to demonstrate compliance with this section.*

McCormick Taylor Response (12-02-2016): The applicant is requesting a waiver from this section to permit an infiltration bed within the 100 foot upstream gradient. We have no objection to this waiver.

7. **§144-306.K.3** – *For any infiltration practice that collects runoff from shared or multiple features and that is located within 50 feet of a building or feature with subgrade elements (e.g., basements, foundation walls, etc.), the bottom elevation shall be set below the elevation of the subgrade element if feasible.*

McCormick Taylor Response (12-02-2016): The applicant is requesting a waiver from this section to permit an infiltration bed within 50 feet of a building. We have no objection to this waiver conditioned upon a geotechnical engineer specifying the design and composition of the proposed clay liner. In addition, the engineer must submit a



letter confirming construction observation and compliance with the design requirements.

EROSION, SEDIMENT CONTROL AND GRADING

8. *The applicant shall provide a "letter of adequacy" from the Conservation District or PADEP in compliance with Title 25 Chapter 102 of the Pennsylvania Code of an erosion and sediment control plan for construction activities, as well as an approved NPDES Permit prior to construction.*

McCormick Taylor Response (12-02-2016): The review process has started for the approval from the CCCD. The applicant has a meeting scheduled with the CCCD on 12-13-2016. More information will be required after the completion of the meeting.

COMMENTS PER MEMORANDUM DATED 11-8-2016

9. **§149-910.D** – *The plan must be revised to indicate a paving section for the proposed road which is designed per the “Superior Paving Asphalt Pavement” design system. The plan indicates a blend of superpave material, ID-2 and BCBC, which is no longer used on modern roadway construction in Pennsylvania. In addition, the courses of paving should be arranged in a row format that is easy to read and install for a contractor, the current detail could be misinterpreted in the field.*

McCormick Taylor Response (12-02-2016): It appears that the applicant has revised the paving section to meet this requirement. However, the driveway section (Sheet 8) and flexible pavement restoration section (Sheet 5) still reference ID-2 and BCBC and should be revised.

10. **§149-910** – *The plan must be revised to indicate the plan view of the curbing construction. The plan is misleading in that the curb appears as a line, whereas in the field the curbing will span eight (8) inches in the field. This is a critical issue as there is little room for maneuverability in the existing access area of the proposed roadway.*

McCormick Taylor Response (12-02-2016): It appears that the applicant has not addressed this issue, and remains unresolved.

11. **§80-6.C(1)** – *All drainage facilities shall be designed in the most practical fashion to control surface water runoff in such a manner as to prevent erosion and flooding. Such facilities shall be designed to retard the rate of stormwater runoff to approximately the same rate as the existing prior to construction of the project. The applicant’s team has not provided detailed rip-rap aprons for the upstream and downstream of the culvert areas.*

McCormick Taylor Response (12-02-2016): It appears that the applicant has provided rip-rap aprons at the culvert at station 2+90. However, it appears that no rip-rap aprons have been installed at the culvert at station 9+90.

GENERAL COMMENTS

12. *During the sketch phase of the project, there was consideration given to providing access for construction vehicles and deliveries via Route 202. The applicant is asked to provide an update regarding communications with PennDOT on this issue.*

McCormick Taylor Response (12-02-2016): Per the meeting on October 4th, 2016, the applicant has agreed to provide information to PennDOT regarding site access; however, no decision has been made on granting site access via Route 202. A Maintenance and Protection of Traffic Plan has been provided, and is currently in



review by our Traffic Engineer, Andrew J. Parker, and PennDOT.

- 13. The applicant must provide a detailed design and calculation of the proposed retaining wall along the proposed roadway.

McCormick Taylor Response (12-02-2016): The applicant has stated that this design will be provided by others. This issue will remain outstanding until a design and calculation is provided.

- 14. The applicant must provide legal descriptions for the newly developed lots within the site once the site layout is approved.

McCormick Taylor Response (12-02-2016): The applicant has stated that legal descriptions will be provided with the Final Plans.

- 15. Please note the status of the following outside reviews and/or approvals:

Review	Agency	Status
Traffic HOP	PennDOT	Maintenance and Protection of Traffic Plan has been provided, and is currently in review by our Traffic Engineer, Andrew J. Parker, and PennDOT.
Sanitary Sewer	Carroll Engineering Corp.	Response letter comments from September 1 st , 2016 review letter received.
NPDES	DEP/CCCD	Correspondence is ongoing. Review letter received 11/23/2016.
Fire/Emergency Service	Westtown Township Fire Chief	Correspondence is ongoing.
Building Means / Method Steep Slope Statement	Township Engineer	Correspondence has not yet been received.

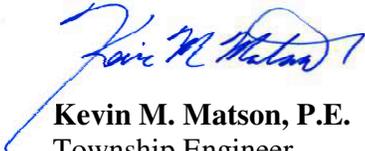
SANITARY SEWER

We defer to the Township’s Sanitary Sewer Consultant, Carroll Engineering Corporation, for comments related to the proposed sewer system.

I trust that the foregoing will assist Westtown Township in their evaluation of the Preliminary / Final Land Development Application.

As always, feel free to contact me directly with questions or concerns by phone at 610-640-3500 or by email at kmmatson@mccormicktaylor.com.

Regards,


Kevin M. Matson, P.E.
Township Engineer

- CC: Mr. Robert Pingar, P.E., Township Manager & Director of Engineering
Pat McKenna, Westtown Township Solicitor
Westtown Township Planning Commission
Timberlake M. Townes, Southdown Homes (ttownes@jloew.com)
Edward B. Walsh, P.E., Edward B. Walsh & Associates, Inc. (ebwalsh@ebwalshinc.com)



February 24, 2017

Mr. Adam R. Loew, President
Southdown Properties, Inc., General Partner of Westtown Woods, LP
55 Country Club Drive
Downingtown, PA 19335

**Re: *Permit Authorization Cover Letter for General NPDES Permit for Stormwater Discharges
Associated with Construction Activities
NPDES Permit Application No.: PAC150004
Project Name: Westtown Woods
Municipality: Westtown Township, Chester County***

Dear Adam:

In compliance with the provisions of the Clean Water Act, 33 U.S. C. §1251 et seq. ("the Act"), and Pennsylvania's Clean Streams Law, as amended, 35 P.S. §§691.1 et seq., the Chester County Conservation District hereby authorizes the notice of intent for the NPDES permit for Stormwater Discharges Associated with Construction Activities (NPDES Permit) from 1010 Wilmington Pike to unt to Plum Run ~ wwf-mf.

Permit #PAC150004 is effective on 2/24/2017 and will expire on 2/23/2022. All discharges are required by Sections 402 and 611 of The Clean Streams Law, 35 P.S. §§691.402 and 691.611 to comply with the terms and conditions of their permit.

In addition to the NPDES permit authorization, the permittee and any subsequent co-permittees have additional responsibilities related to this authorization. NPDES permit requirements and federal regulations at 40 C.F.R. 122.21(b) require "when a facility or activity is owned by one person but is operated by another person, it is the operator's duty to obtain a permit" (see permit condition Part B(1)(d)(1) and (3) for transfer of permit or co-permittee requirements.) Please be advised that once an operator/contractor has been selected for the project, the NPDES permit must either be transferred to the operator/contractor or the operator/contractor must be made a co-permittee and enter into an agreement with the permittee. Please use the enclosed Transferee/Co-Permittee Application form to transfer the permit or to add a co-permittee.

A pre-construction conference is required as specified in 25 Pa. Code § 102.5(e). The purpose of this conference is to review all aspects of the permit with the permittee, co-permittees, operators, consultants, the DEP inspectors and licensed professionals or their designees who will be responsible for the implementation of the critical stages of the approved PCSM plan.



It is a condition of NPDES permit that as part of the maintenance program for the operation and maintenance of Best Management Practices (BMPs) the permittee or co-permittee must conduct inspections of the BMPs on a weekly basis and after each stormwater event (including the repair or replacement of BMPs) to ensure effective and efficient operation (see permit condition part A, 2(a)).

For any property containing a Post Construction Stormwater Management (PCSM) BMP, the permittee or co-permittee shall record an instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property. The recorded instrument must identify the PCSM BMP, provide for necessary access related to long-term operation and maintenance for PCSM BMPs and provide notice that the responsibility for long-term operations and maintenance of the PCSM BMP is a covenant that runs with the land that is binding upon and enforceable by subsequent grantees. Unless a later date is approved by the Department in writing, the permittee shall record an instrument as required under 25 Pa. Code §102.8(m)(2) and condition 14b of this permit within 45 days from the date of issuance of this permit or authorization. The permittee shall provide the conservation district and the DEP with the date and place of recording along with a reference to the docket, deed book or other record, within 90 days from the date of issuance of this permit or authorization.

The Notice of Termination (NOT) form is also enclosed and must be completed and filed when construction activities have ceased and final stabilization has been achieved as a condition of this permit as specified in Section 4 of the permit regarding Notice of Termination. The NOT is a NPDES permit requirement, as well as a regulatory requirement under 25 Pa. Code § 102.7. The NOT must identify the responsible person(s) for the long term operation and maintenance of the PCSM BMPs. Please be advised that the permittee and/or co-permittee remain responsible for all operational maintenance for this project site until the NOT has been filed and acknowledged.

Persons aggrieved by an action of a conservation district under 25 Pa. Code Chapter 102 (Section VII NPDES NOI for Coverage under NPDES General Permits) may request an informal hearing with the DEP within 30 days of publication of this notice in the Pennsylvania Bulletin, pursuant to 25 Pa. Code §102.32(c). The DEP will schedule this informal hearing within 30 days of the request. After this informal hearing, any final determination by the DEP may be appealed to the Environmental Hearing Board as provided below.

Persons aggrieved by an action may appeal that action to the Environmental Hearing Board (Board) under section 4 of the Environmental Hearing Board Act (35 P.S. §7514) and 2 Pa.C.S. §§501-508 and 701-704 (relating to Administrative Agency Law). The appeal should be sent to the Environmental Hearing Board, Second Floor, Rachel Carson State Office Building, 400 Market Street, P.O. Box 8475, Harrisburg, PA 17105-8457, (717) 787-3483. TDD users may contact the Board through the Pennsylvania Relay Service at (800) 654-5984. Appeals must be filed with the Board within 30 days of publication of this notice in the Pennsylvania Bulletin unless the appropriate statute provides a different time period. Copies of the appeal form and the Board's rules of practice and procedure may be obtained from the Board. The appeal form and the Board's rules of practice and procedure are also available in Braille or on audiotape from the Secretary to the Board at (717) 787-3483. This paragraph does not, in and of itself, create a right of appeal beyond that permitted by applicable statutes and decisional law.

For individuals who wish to challenge an action, the appeal must reach the Board within 30 days. A lawyer is not needed to file an appeal with the Board.

Important legal rights are at stake however, so individuals should contact a lawyer at once. Persons who cannot afford a lawyer may qualify for free pro bono representation. Call the Secretary to the Board at (717) 787-3483 for more information.

If you have any questions about your application, please contact Donna Leddy, Permit Coordinator at 610-925-4920 ext. 113.

Sincerely,



Christian E. Strohmaier, Director

cc: Edward B. Walsh & Associates, Inc.
Westtown Township
Permit File

Attachments: PAG~02 General NPDES Permit
PAG~02 Fact Sheet
E&S Plan
PCSM Plan
Transferee/Co-Permittee Application Form
Notice of Termination
PCSM Instrument Filing Notice



**APPROVAL OF COVERAGE UNDER THE GENERAL NPDES
 PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH
 CONSTRUCTION ACTIVITIES
 PAG-02 (2012 Amendment)**

NPDES PERMIT NO: PAC150004

Project Name & Address

Permittee Name & Address

Westtown WoodsAdam R. Loew, Pres. of Southdown Properties, Inc.1010 Wilmington PikeGeneral Partner of Westtown Woods, LPWesttown Township55 Country Club DriveWest Chester, PA 19380Downingtown, PA 19335

In compliance with the provisions of the Clean Water Act, 33 U.S.C. Section 1251 *et seq.* ("the Act") and Pennsylvania's Clean Streams Law, as amended, 35 P.S. Section 691.1 *et seq.*, the Department of Environmental Protection hereby approves the Notice of Intent (NOI) submitted for coverage to discharge stormwater **from an earth disturbance activity that involves equal to or greater than one acre of earth disturbance on any portion, part, or during any stage of, a larger common plan of development or sale that involves equal to or greater than one acre of earth disturbance**, to the following surface water(s) of this Commonwealth:

UNT to Plum Run ~ WWF-MF

subject to the Department's enclosed PAG-02 which incorporates all effluent limitations, monitoring and reporting requirements, and other terms, conditions, criteria, and special requirements for the discharge of stormwater composed entirely of stormwater associated, in whole or in part, with construction activity, as defined in this general permit, to surface waters of this Commonwealth, including through municipal separate storm sewers and nonmunicipal separate storm sewers. Authorization to discharge is subject to the implementation of the plans and additional associated information submitted as part of the NOI.

APPROVAL TO DISCHARGE IN ACCORDANCE WITH THE TERMS AND CONDITIONS HEREIN MAY COMMENCE ON THE DATE OF THE APPROVAL OF COVERAGE, AND IS VALID FOR A PERIOD OF FIVE YEARS WHEN CONDUCTED PURSUANT TO THE TERMS AND CONDITIONS OF THE APPLICABLE PERMIT. COVERAGE MAY BE EXTENDED BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT IF A TIMELY ADMINISTRATIVELY COMPLETE AND ACCEPTABLE NOI RENEWAL IS SUBMITTED TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT AT LEAST 180 DAYS PRIOR TO DATE OF COVERAGE TERMINATION. THE PERMIT MAY BE TERMINATED PRIOR TO THE EXPIRATION DATE UPON RECEIPT AND ACKNOWLEDGEMENT OF A NOTICE OF TERMINATION FORM AND APPROVAL BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. NO CONDITION OF THIS PERMIT SHALL RELEASE THE PERMITTEE OR CO-PERMITTEE FROM ANY RESPONSIBILITY OR REQUIREMENT UNDER PENNSYLVANIA, OR FEDERAL ENVIRONMENTAL STATUTES, REGULATIONS, OR LOCAL ORDINANCES.

COVERAGE APPROVAL DATE: 02.24.2017COVERAGE EXPIRATION DATE: 02.23.2022AUTHORIZED BY: Christian E. StutzmanTITLE: Chester County Conservation District Director

Excerpts from the January 20, 2016 PC minutes

Westtown Woods (1010 Wilmington Pike) rezoning and land development

Discussion with Tim Towns of Southdown Homes on the proposed rezoning of the C-2 portion of the property located at 1010 Wilmington Pike back to R-2 and subsequent construction of 15 single family homes on the entirety of the property. Mr. Towns initially provided an overview of what the project would entail and discussed what has been done to date. He stated the resident meeting was very productive with his team learning new things about the property.

Specific to the proposal, in addition to being serviced by public water, Westtown Woods would be served by public sewer. The system would be a low pressure system that would connect into the existing public sewer on the eastern side of 202. The individual lots will have a minimum size of 22,000 square feet and contain homes ranging in size from 3,500-4,000 square feet. He stated just over 1.5 acres of open space will be provided on three separate parcels within the development and that stormwater management will be handled through individual seepage beds for each home.

Mr. Towns then discussed the possible granting of a driveway easement through their property to allow for a secondary access to Robins Nest Drive in the event 202 is either blocked or closed. He indicated conceptually he is not against this possibility as it is a dangerous intersection at the 202 merge with Robins Nest. Mr. Rodia asked if this could be used as a secondary, emergency access to their development to which Mr. Towns said it could. He then stated the area proposed for downzoning from C-2 to R-2 is not a viable commercial property without access onto Jacqueline Drive in his professional opinion.

Specific to the proposed Robins Nest connection, Mr. Lees asked if it would be utilized regularly and Mr. Towns stated his preference for it being utilized as a private driveway, with maintenance being the responsibility of the residents of Robins Nest Drive. He does not want the proposed connection to further exasperate existing traffic problems on Jacqueline. Mr. Lees asked if the proposed cul-de-sac could be designed as to not require a waiver for its total length, and Mr. Towns did say that it will be evaluated when full engineering takes place.

Mr. Yaw stated he likes the idea of the Robins Nest connection, but that he would like to see how it would be designed and integrated into the development as a whole as well as what the long-term maintenance agreement would entail. Mr. Hatton asked if sidewalks were proposed and Mr. Towns did state they are proposed for both sides of the road along within the development. He then asked if the property was to be bermed adjacent to 202 and Mr. Towns states it is not proposed, but that additional landscaping will be incorporated to mitigate impacts from 202. He further stated as much of the wooded areas adjacent to existing residential areas will be preserved as possible.

Mr. Rodia stated this is the best concept presented thus far for the site, but asked Mr. Matson what issues will need to be resolved in order to develop it. Mr. Matson stated the site has considerable grading challenges, drainage issues, stormwater concerns, as well as other environmental constraints. Mr. Rodia then followed by asking what the potential implications are to the downzoning from commercial zoning with regards to tax revenue. Mr. Towns stated poor access makes the property relatively undesirable for commercial development and further noted his companies experience in the area with commercial development.

Mr. Pomerantz asked Mr. Towns what he learned from the community meeting. He stated the

meeting resulted in the identification of an area of fill containing car parts and construction debris that will need to be cleaned out at the northeastern portion of the property. He also stated he learned the area is served by natural gas as well as the location of the water line. Mr. Pomerantz then asked if there is any possibility of opening a secondary construction access to the property in an effort to minimize the impact of construction traffic on Jacqueline Drive. Mr. Towns stated he is willing to ask PennDOT if the existing driveway off 202 could be used as a construction access. However, he did not think it was very likely that PennDOT would approve a construction entrance at that location as a result of safety concerns. Mr. Towns did state that he would construct the road in such a manner as to develop an off-site area to stage construction vehicles/equipment as quickly and efficiently as possible. He indicated it will take six months to cut the road into the site and the paving vehicles will result in increased traffic. Further, any tracking of mud/debris onto public streets will be his responsibility to clean and maintain.

Mr. Pomerantz then asked what can be done to mitigate possible negative impacts and/or accidents associated with the property during the construction phase of the project. Mr. Towns stated his company is responsible for policing, securing and posting the property during the construction phase. Mr. Pomerantz concluded by asking if a resident's council has been considered to allow for direct feedback from the residents to the builder. Mr. Towns stated he has been and will continue to have an open dialogue with the residents and work together to find solutions to their issues.

Mr. Patriarca strongly encouraged Mr. Towns to reach out to PennDOT on the issue of construction access off 202. He stated even if they only allow vehicles to exit onto the property, but not enter from the 202 access it would significantly reduce the overall number of construction vehicles on Jacqueline. Mr. Patriarca then had a comment related to the existing billboard on-site. He stated that after consultation with the Township Solicitor, zoning relief and/or a creative solution will need to be developed for the billboard to remain on-site. This is the case as billboards are only allowed in the C-2 district, and as such would be a non-permitted use in the R-2 district as proposed. Mr. Towns stated that it is their intention to ultimately remove the billboard altogether. Mr. Pomerantz then opened up the meeting for public comment on the project.

Jim Cahill of 9 Jacqueline Drive – Mr. Cahill first stated he does not have a problem with homes being developed in general, but does have numerous concerns about the project as his property is immediately adjacent to the proposed road into the site from Jacqueline Drive. He first asked Mr. Towns about the proposed access to Robins Nest and its intended purpose. Mr. Towns stated the idea was floated to provide for a driveway easement to allow for a secondary access to Robins Nest by way of Jacqueline Drive. Mr. Cahill stated he was against this proposal as it would only benefit Robins Nest and not Jacqueline Drive, especially given the known and on-going traffic issues on Jacqueline.

Next Mr. Cahill asked if construction traffic would be utilizing Jacqueline Drive, and stated there are three acres of ground by PennDOT at the by-pass to allow for the establishment of a construction entrance off 202. Mr. Towns indicated he was unaware of this acreage in the vicinity. He further stated a coordinated effort needs to be made between the applicant, Township, residents and state representatives in working towards the establishment of a construction entrance off 202. Mr. Cahill next asked what would be done to resolve the grade issues in the construction of the proposed access road from Jacqueline Drive. Mr. Towns stated that although not engineered as of yet, its construction would require fill and retaining walls as

well as piping or a culvert to handle the existing flow/drainage area through the property. Mr. Matson stated he would like to see a conceptual grading plan submitted for review prior to a fully engineered plan set to better understand how the site will function post-construction. Mr. Cahill then discussed the tributary of Plum Run located on site as well as the environmental concerns related with construction on-site.

Mr. Cahill then asked what types of contractors would be used for construction, and Mr. Towns indicated his company utilizes local contractors. Mr. Cahill then expressed his concerns with when they would be working as well as how they carry out their work. He then discussed the current issues with the existing vegetation in the wooded areas and what can be done to provide for appropriate screening with the current properties on Jacqueline Drive. Mr. Towns did state they will preserve as much as possible and fill in where needed. Relevant to stormwater, Mr. Towns stated the individual lots will utilize seepage beds and that road runoff will utilize some sort of basin or underground storage. Mr. Pomerantz then concluded the discussion and asked Mr. Cahill for his overall thought on the project. Mr. Cahill stated he was previously for it, but is now against it as nothing is proposed to alleviate traffic concerns on Jacqueline Drive and will add more from Robins Nest.

Mr. Matson asked how far along engineering is for the project, and Mr. Towns stated although not done yet, all efforts will be made to balance the site. Mr. Pingar then stated the applicant needs to still make their case to the BOS with respect to the zoning change. Mr. Patriarca then stated he would like the PC to state what their feelings are on the rezoning at this point.

Mr. Yaw stated that he does not oppose the concept, but acknowledged the applicant will need to make a solid case justifying the rezoning as well as resolve the access issues. Mr. Lees agreed with this sentiment and further stated the property will ultimately develop and that careful attention needs to be given to ensure it complements the established neighborhoods surrounding it. Mr. Hatton stated he feels positive to what has been presented thus far. Mr. Rodia was generally positive to the proposal as it appears to be visible and more sensitive to the surrounding neighbors. Mr. Pomerantz stated he does not feel the PC is opposed to the proposal in general but final judgement will be withheld until a formal application is reviewed. He also reiterated the applicant needs to fully evaluate other potential construction access points. Overall, the PC did not oppose the possibility of rezoning the property to allow for the development of Westtown Woods.

Excerpts from the September 7, 2016 PC minutes

Westtown Woods (1010 Wilmington Pike)

Mr. Pomerantz started the discussion with Southdown Homes and their consultant team on their rezoning and subdivision land development application for a proposed 15 home residential development to be accessed off a new road connecting into Jacqueline Drive on the property located at 1010 Wilmington Pike (UPI 67-4-9). The applicant Tim Towns of Southdown Homes first stated to the PC it is his intent to come back to a second meeting for a formal recommendation that incorporates the discussion had at the meeting. Mr. Towns first introduced the rezoning analysis that demonstrates the rezoning of the four acres along 202 from C-2 back to R-2 will not be negative for the Township. Specifically, the analysis shows that there still is adequate C-2 properties for development, and he also spoke to the limitations of the property for commercial development from the perspective of his experience as a commercial land developer. These limitations include its very poor access from 202 as well as the large amount

of fill required to construct on the site.

Andy Eberwein of E.B. Walsh next went through the rezoning analysis. He stated that approximately fifteen acres of land zoned C-2 along the 202/Old Wilmington Pike frontage. He noted there is potential for redevelopment as nearly all of the properties are presently occupied. His analysis was based on this limited acreage in conjunction with what the ordinance allows to be physically constructed on-site. He stated that the only real commercial uses he could envision involve small retail or office space. He stated in his opinion that their piece would be the last to possibly develop commercially due to its poor access from 202 as well as its location significantly below the road grade of 202.

He estimated approximately 83,600 square feet of commercial development could potentially occur on this acreage. Additionally, he stated that he believes that many of the structures present would be adaptively reused as it would be difficult to fit new construction within the constraints of the existing lots. He again reiterated that with their property being subtracted from the total, there is adequate acreage for commercial development. Mr. Eberwein then proceeded to go through each of his summaries for the remaining 11 acres of C-2 property.

He briefly discussed his methodology and proceeded to go through the different scenarios individually. For each of the scenarios he described the overall limitations as well as identified properties that would potentially be adaptively reused. He did not provide for a potential commercial development proposal for their 4 acre property. Mr. Hatton asked about the location of the retaining wall previously mentioned and Mr. Eberwein stated it was located along 202 at their property line. He further stated the general yield for commercial property is 8,000 square feet per acre.

Mr. Pomerantz following by asking why the zoning change to R-2 is being requested and Mr. Eberwein stated it is because single-family homes are a non-permitted use within the C-2 district. He then asked how many homes are proposed for the rezoned portion of the property and Mr. Eberwein indicated there would be four homes constructed in this area. Mr. Patriarca also noted two significant constraints with these C-2 properties as being the lack of public sewer as well as significant buffer requirements in relation to the neighboring residential properties. Mr. Rodia asked about buffering at rear of the proposed homes along 202 and Mr. Towns indicated there will be significant screening and buffering with a landscaped earthen berm. Mr. Eberwein stated the homes at the end of the cul-de-sac will sit 15 feet below 202 with the view from 202 being that of a hill with a fence atop it. Both Mr. Whitig and Mr. Rodia stated the proposal is the best they have seen to date for this property.

Gail Guterl of 715 Spring Line Drive – Ms. Guterl asked if the property north of Robins Nest Lane is in West Goshen. Mr. Patriarca stated there is a piece of WCU property that is actually located in Westtown just north of Robins Nest Lane. She next asked how the creek located in the proposal has been addressed. Mr. Towns stated they will get into greater detail on this issue as they discuss the land development portion of the application.

Mr. Lees asked what happens to their development if they are unable to gain the rezoning. Mr. Towns stated they would withdraw the project and look to sell the land altogether as the project would no longer make financial sense. Mr. Pomerantz asked if those lots adjacent to 202 would

have a reduced asking price, and Mr. Towns stated they would not be reduced.

Next Mr. Patriarca started the conversation on Mr. Matson's review letter and asked if the focus could remain on the waiver requests and planning issues as opposed to an in depth discussion on general engineering comments. Mr. Towns then proceeded to give a general overview of the project. He stated the project will be accessed from a 50 foot wide strip onto Jacqueline Drive. He stated a waiver is being requested as the length of the proposed cul-de-sac exceeds the 1,500 foot maximum by 52 feet and further stated all efforts were made as to not have this request be made. He indicated the road has been shifted slightly to the northwest as to provide for an adequate riparian buffer.

Mr. Matson then proceeded to go through the waiver requests. Relevant to the request to allow for a cul-de-sac in excess of 1,500 feet, barring any comments from the fire company that suggest otherwise, stated there is no engineering reason as to not grant this waiver request. The second waiver is to have preliminary/final approval as opposed to separate as required by code, and also offered no objection to this waiver.

The third waiver to allow for waivers of less than twenty feet for utility easements. Although not all easements would fall into this waiver, many smaller stormwater easements are proposed to be only four feet in width. Mr. Matson also indicated there was some discussion on a blanket easement over the whole site for Township MS4 purposes. Mr. Eberwein stated this blanket easement has been noted on the stormwater plan to allow for Township maintenance if necessary if the HOA does not comply with maintenance requirements. With the blanket easement, Mr. Matson did not object to the waiver request. Mr. Hatton asked what the average easement size is proposed to be. Mr. Eberwein stated the small easements are only proposed for the overflow pipes (four inch pipe) from a smaller infiltration bed on individual lots. Mr. Matson stated a similar waiver was granted for the Rustin project.

The fourth waiver requests to allow for HDPE pipes in the ROW as opposed to concrete ones as required by the ordinance. Mr. Matson stated under the streets, only concrete pipes are permitted, but HDPE is acceptable within the ROW as long as it is not under the street. As such, he did not object to this waiver request either.

The fifth waiver request is relevant to grading fully within the ROW in order to place a retaining wall along the entrance portion of the road near Jacqueline Drive. Mr. Eberwein stated within the fifty foot access strip to the property, they are not allowed to construct outside it. As such, a segmented block wall of approximately 100 feet and no greater than six feet in height is proposed to allow for road construction. The waiver is being requested as the wall would not be permitted as it exceeds a 3:1 slope to construct the road. Mr. Matson stated there was knowledge of grading concerns at this location, and also acknowledged the PennDOT has not viewed favorably a new road entering directly onto 202. Due to this and the physical constraints of the site, Mr. Matson did object to the request. Mr. Pomerantz asked how this wall will impact the neighbors, and Mr. Eberwein stated other than the visual change the new road will not impact stormwater runoff or other engineering aspects like this. Mr. Matson suggested the culvert along Blenheim Road is similar to what is being proposed. Mr. Hatton asked if this will be visible from Jacqueline Drive, and Mr. Towns stated it will be for motorists traveling west on Jacqueline Drive, but not so much traveling east. Mr. Hatton then asked if additional

landscaping be added to better screen the wall from adjacent properties and Mr. Towns stated he would reach out again to those neighbors on this issue. For stormwater Mr. Eberwein stated there are two 24 inch pipes proposed at the base of the wall to allow for it to pass through without backing up onto neighboring properties.

The sixth waiver discussed involved how sidewalks are constructed in relationships to the driveways and concrete aprons. Mr. Towns stated at the driveway, they seek to leave a twenty foot gap in the sidewalk and utilize asphalt aprons and sidewalk across the driveway instead of concrete. He indicated constructing it in this manner is much more cost effective for long-term maintenance by the future homeowners. Mr. Matson stated he understands the reason for this based on his experience with previous projects, but has a concern with whether or not a fully ADA compliant path can be created with asphalt in this manner. Mr. Towns stated he does not have a concern with complying with ADA utilizing this approach. Mr. Patriarca suggested that he provide a visual of this dynamic to help the PC better understand the visual impact of what is being proposed.

The seventh waiver requests to not provide a tree protection plan. Mr. Matson stated the landscaping plan in addition to the existing conditions plan convey the information this plan would illustrate and would be redundant. Mr. Eberwein echoed this sentiment as well and led the PC through these two plan sheets as well and specifically emphasized the additional screening and buffering they are proposing to provide. As such, he did not object to this request.

The eighth waiver request is to reduce the required caliper for the proposed tree plantings on the site. Mr. Matson stated in his conversations with nurseries and landscapers, the trees required by the ordinance are relatively difficult to obtain, thus creating a hardship imposed by the ordinance. As such, he did not object to the waiver request.

The ninth waiver requests that trees be placed closer than ten feet to the property lines and five feet from the ROW as required by the ordinance. Mr. Matson noted the challenge of the proposed landscaping plan, the difficulties of the overall terrain result in the need for some flexibility in their placement. Mr. Eberwein stated the closet they proposed to the property line is five feet and five feet from the sidewalks. Along the property lines he stated the ten foot separation would result in a strange design as they would create tree “corridors” along the property lines. Mr. Hatton noted that the substantial amount of landscaping proposed is what the waiver is being requested. He then asked if the landscaping takes into account the potential placement of fences and sheds, and Mr. Eberwein stated it does not. Mr. Yaw asked if the waiver is for the interior of the lots and perimeter, and Mr. Eberwein stated the waiver will apply throughout the development. He further stated the proposed plan provides for a tree setback of at least five feet throughout. Mr. Yaw stated his concern is with trees placed in relationship to the perimeter adjacent to existing lots, and not interior lots.

Susan Jennings of 200 North Deerwood Drive – Ms. Jennings asked about the types of trees proposed adjacent to her property and what they will be. Mr. Eberwein indicated there are several existing trees in this vicinity that are to remain in addition to several evergreen trees to be added.

Matt Kelly of 22 Robins Nest Lane – Mr. Kelly stated his biggest concern is with the elevation of

the curve in the road and its relationship with this home. Specifically he stated his concern with headlights from vehicles shining into his house as the travel from Jacqueline Drive into the site. He asked why more permeant features such as a berm or additional landscaping are not proposed for this area to diminish potential impacts from headlights. Mr. Eberwein stated they can move a row of evergreens to the west that are proposed to provide for better screening of vehicles from his property.

Specific to the waiver request, Mr. Matson stated his concern is with how it may impact sidewalks. Mr. Eberwein to address this concern stated he could move the trees back ten feet from the sidewalk, but would like to go only five feet elsewhere. Mr. Patriarca stated he did not object to the five foot setback as it provides for enough separation from the property line in the event of a neighbor dispute of trees in the future. Based on this, Mr. Matson did not object to this waiver request. Mr. Hatton asked if the majority of trees to be removed are poplar trees, and Mr. Eberwein stated they were. He further stated that trees in areas where grading is not proposed, including open space areas, will not be removed.

Next, Mr. Matson led the PC through some of his remaining general comments from his most recent review letter. Many of the comments were previously discussed as part of the waivers discussion. Specific to the zoning issues relevant to wetlands, Mr. Matson stated their wetlands expert will be going on-site to verify the wetlands delineation at a future date.

Relevant to all of the stormwater management proposed, Mr. Matson stated it is a much more holistic approach that better reflects more contemporary stormwater design. He did also stated the unique terrain of the site does present some challenges. Mr. Eberwein stated the stormwater system consist of ten underground facilities and testing was done to make sure they would function properly. He stated the larger number of facilities are proposed as a result of the topography of the site and that all of the facilities will be maintained by the HOA. Blanket easements will be granted to allow for Township maintenance if necessary. The facilities have all been designed to handle the 100-year storm and all handle the required volume as stipulated in the ordinance. Mr. Pomerantz asked what constitutes a 100 year storm for the purposes of stormwater management. Mr. Matson stated a 100 years storm constitutes a rainfall in excess 8.4 inches of per hour and a total volume of 7.2 inches. Mr. Pomerantz expressed his concern with the impacts of the larger storms experienced as the train across an inundated area.

Mr. Hatton asked about the maintenance and reporting of this back to the Township, and Mr. Towns stated it is the responsibility of the HOA to both handle the maintenance as well as to make the reports back to the Township as required by code. Mr. Hatton asked what type of cost the HOA will incur for the costs of the annual report and maintenance. Mr. Eberwein stated if the facilities are built and maintained properly, the overall costs should not be too great other than the cost of hiring an engineer for the annual report.

Next Mr. Matson asked about access to 202 for construction activities. Mr. Eberwein stated they propose to use the existing access as a temporary construction access for the initial site work and then close it once the road is completed to Jacqueline Drive. He indicated they are ready to comply with whatever flagging and/or local police PennDOT may require to utilize this access. Mr. Eberwein further stated the larger equipment will remain on-site until the construction is completed and will not use the access daily. The indicated they will continue to work with

PennDOT on this issue. Mr. Towns stated all of the trees will be chipped instead of hauled out in full.

Mr. Matson followed by asking about coordination with the WCASD for a possible school bus stop. Mr. Towns stated they will include a small concrete slab at Jacqueline Drive to serve as a possible bus stop. Relevant to current environmental clearances, Mr. Eberwein stated that they have been cleared by the state for several items, but will provide for an updated PINDI receipt. Mr. Matson stated the PINDI is a reference tool from the state that assists in determining if a development site contains any endangered species and/or historic resources that is similar to a title search.

Mr. Hatton asked if previous contamination of the site has been addressed. Mr. Matson then described the two phase process utilized for this type of environmental clearance. Mr. Patriarca stated there have been previous environmental incidents at that site and remediation completed under the guidance of the DEP. Mr. Towns stated a Phase One environmental study has been completed on the site and buried materials removed and does not see any further contamination issues present at the site.

Relevant to sanitary sewer proposed for the site, Mr. Towns stated a low-pressure sewage system is proposed to connect into the existing sewer along Broadway across 202. A two inch force main will run the length of the street.

Matt Kelly of 22 Robins Nest Lane – Mr. Kelly asked about a possible connection from the proposed road back to Robin Nest Lane. Mr. Towns indicated there is an open space lot that goes back to Robins Nest Lane, and indicated the residents of Robins Nest had requested consideration of an access through this area. He further stated it was decided to make a determination on this issue during the land development process and stated they would consider placing an easement on this ground to allow for a future connection. Mr. Kelly asked if they would install the road and Mr. Towns state they would not, only provide an easement. Mr. Kelly stated he was under the impression they would construct this connection to which Mr. Towns disagreed. Mr. Towns further stated they are proposing to provide a capped sewer to Robins Nest Lane in the event they wish to connect in the future. Mr. Kelly then discussed his concern with the overall size of trees at the time of their planting as being insufficient to screen headlights of approaching vehicles. He suggested additional landscaping should be placed closer to the road to help with this issue. Mr. Kelly finally commented that the rezoning should not occur and look at possibly acquiring the property for open space and or trails. He further suggested this could be done in conjunction with the university and/or state.

Susan Jennings of 200 North Deerwood Drive – Ms. Jennings asked if there was a possibility for her to connect her property into the public sewer as part of the project. Mr. Towns stated that they have talked with staff and indicated he is open to establishing sewer easements to connect. Mr. Patriarca asked that any request of this manner be directed to him and he would make sure it was received by the PC and BOS in future meeting materials.

Gail Guterl of 715 Spring Line Drive – Ms. Guterl asked what the average lot sizes were to be and Mr. Towns indicated they will be no smaller than 22,000 square feet and the entire project is envisioned to take 2.5 years. Mr. Lees asked if there is any intention to build a road back to

Robins Nest. Mr. Towns stated it would be constructed as a shared driveway, and not as a standard road.

Excerpts from the November 9, 2016 PC minutes

Westtown Woods (1010 Wilmington Pike)

Mr. Pomerantz started the discussion with Southdown Homes and their consultant team on their rezoning and subdivision land development application for a proposed 15 home residential development to be accessed off a new road connecting into Jacqueline Drive on the property located at 1010 Wilmington Pike (UPI 67-4-9). Tim Townes representing Southdown Homes started the discussion with Mr. Matson about outstanding items in his most recent review letter.

The first issue discussed were the eleven waiver requests. Mr. Townes first stated they are no longer requesting a waiver from §149-916.A to construct asphalt aprons on the driveway and will comply by constructing the required concrete ones. Mr. Matson first stated the waiver from §149-600 to request preliminary/final approval concurrently is just procedural in nature and offered no objections to it. The PC did not offer an objection to this request.

The second waiver discussed was relevant to cul-de-sac length as defined under §149-901.F. The ordinance limits the maximum length of a cul-de-sac to 1,500 feet and the applicant proposes one that is 1,552.40 feet. Mr. Matson did not offer an objection to the request. Mr. Yaw asked if the fire company had commented on this item, and Mr. Towns stated it was under review by Fame. The third waiver discussed was §149-910.B relevant to grading and slopes within the ROW. Mr. Matson stated this is proposed for the access to Jacqueline and construction of a retaining wall for the road makes the waiver necessary. Mr. Matson did not offer an objection to the request and the PC did not offer an objection as well.

The fourth waiver discussed was §149-920.B relevant to requiring minimum easement widths of 20 feet. The applicant is providing an overall blanket easement, but only prescriptive easements of as small as four feet in some locations. Mr. Matson did not offer an objection to the waiver as the blanket easement will allow for construction equipment into the areas in question if needed. Mr. Hatton if the request was to allow for four foot easements throughout or only when 20 feet was not practical, and Mr. Mattson stated it was for the latter. Mr. Townes then elaborated on this point further in providing a more detailed discussion on the easements and the HOA responsibility for maintaining them. Mr. Eberwein then stated the four foot easements are only proposed for 18 inch pipes associated with individual, on-lot stormwater beds, and that the blanket easement will cover the entirety of the tract to allow for access. The PC did not offer an objection to this request.

The fifth waiver discussed was §149-924.D relevant to the tree management plan. Mr. Matson stated all of the information required for this is present on other sheets of the plan set and did not object to the waiver request. Mr. Hatton asked how many trees are to be removed and Mr. Eberwein stated they are proposing to replace what is to be removed with a like amount of new trees. Jim Cahill of 9 Jacqueline Drive stated may of the trees being discussed are either unhealthy or dying. The PC did not offer an objection to this request.

The sixth waiver discussed was §149-925.H relevant to the required size of trees at the time of

planting. The applicant is requesting a waiver to plant trees with a caliper of 2-2.5" instead of the required 3.5". Mr. Matson stated after speaking with several nurseries, he does not object to the request as there is a significant shortage of 3.5" caliper ornamental trees for planting as a result of the 2008 recession. He further suggested the applicant provide assurances that these trees are healthy at the time of dedication as they were planted at a smaller size. The PC did not offer an objection to this request.

The seventh waiver discussed was §149-925.I relevant to tree plantings being setback ten feet from the property line. The applicant has requested a reduction from the ten feet from the side and rear property lines. Mr. Matson did not object to this request and further noted there should be some flexibility with site landscaping. Mr. Hatton asked if the proposed landscaping could impact fencing, and Mr. Townes stated there would still be enough area to construct a fence if a resident decided to construct one. The PC did not offer an objection to this request.

The eighth waiver discussed was §144-311.B.2 relevant to the utilization of concrete stormwater pipes in the ROW. The applicant proposes to use HDPE pipe in the ROW to which Mr. Matson did object to, but did not object to the use of HDPE pipe outside the ROW. The PC did not offer an objection to this request.

The ninth waiver discussed was §144-306.K.2 relevant to setbacks from below grade stormwater elements. The request is to allow for the location of a seepage bed within 100 feet of another structure. He then asked during the construction sequence, and Mr. Towns stated the site will be graded all at once, followed by utility work and then complete the road. The beds will be constructed afterward and then protected from disturbance during construction. Mr. Matson asked for the sequence discussed to be added as a note to the plan and that a geotechnical engineer will be present when constructed. The PC did not offer an objection to this request.

The ninth waiver discussed was §144-306.K.3 relevant to infiltration elevations adjacent to a structure. Mr. Matson stated this is similar to the previous waiver and did not offer an objection to it as well assuming a geotechnical engineer specifies the required clay liner for the bed. The PC did not offer an objection to this request.

Mr. Matson then led the PC through the remainder of his comments. He first stated their wetlands expert evaluated the site and did not identify any wetlands on the site. However as a cautionary measure she recommended the low areas be taped off during construction. Mr. Eberwein further stated they have a waiver from the Army Corps from additional permitting to work in these areas as well. Mr. Matson then discussed the constructability of the culvert along the Jacqueline access and whether or not additional easement area may be required. He noted the tightness of the site and asked the applicant if they will be able to construct the segmental block wall within it without additional easement area. Mr. Towns stated the road will be constructed from the interior of their property and the area for the road be filled from the north after the stormwater structures are installed. The area between the walls is filled as it is constructed and the property lines will be delineated with construction fence and silt sock.

Jim Cahill of 9 Jacqueline Drive asked Mr. Towns how drainage will be impacted by the construction of the wall. Mr. Towns stated at the base will be two, 24 inch pipes and a headwall to allow for water to follow its natural drainage course. He further stated that runoff associated

with the new road will be handled through the stormwater management system that will be constructed as part of the overall project. Ginny Hassler of 12 Jacqueline Drive asked Mr. Towns if any water from their site will impact Jacqueline Drive and he stated no water from their site will impact it. Specific to the CCCD approval, Mr. Matson stated if it is not complete by the time of their next meeting, it can be made a condition for their final approval.

Next discussed was the use of the 202 driveway as a temporary construction access. Mr. Matson stated a meeting was had with PennDOT in early October to discuss this, and the result of that meeting was guidance for the applicant to consider when developing an exhibit for PennDOT to review in consideration of approving an entrance permit. Mr. Towns stated the 202 access will only be for large construction equipment in order to stage road construction from the 202 and not Jacqueline Drive end. Once this is complete, the 202 access will be closed as it is located within one of their proposed building lots. He stated the access would only be utilized during non-peak times, have flaggers or off-duty officers present and cut back some of the existing embankment to improve overall sight-distance. Mr. Rodia asked how long this access would be utilized and Mr. Towns stated no more than six months.

Mr. Pomerantz asked what the plan would be in the event PennDOT does not approve the 202 access. Mr. Towns stated in this case a temporary road would be constructed off Jacqueline Drive that would ultimately be upgraded to the full road once the major earthwork is completed. He stated his preference for the 202 access in an effort to make the situation better for the neighbors. Mr. Patriarca stated at the conclusion of the PennDOT meeting, there seemed to be a path forward to allow for PennDOT to possibly approve the access. Mr. Matson stated the PennDOT requested a detailed plan illustrating the access in conjunction with a detailed narrative of how and when materials would be delivered. Mr. Pomerantz asked how the equipment that is planned to be stored on site will be secured. Mr. Townes stated the equipment will be parked in a visible location to discourage trespass and vandalism. Specific to the design of the retaining walls, Mr. Matson stated plans will be submitted to the Township for full review at a future date.

Mr. Patriarca commented that if the PC was agreeable in concept to other potential sewer connections from neighboring properties, they may want to comment on this issue as part of their recommendation. Mr. Towns noted that their sewage design includes stubs at both Jacqueline Drive and Robins Nest Lane for possible expansion in the future if warranted. The general consensus of the PC would be to offer support for additional connections when feasible.

Mr. Pomerantz next asked what the applicant is proposing to do to mitigate the impacts of truck/construction traffic and improve the overall safety of the project as a whole during construction. Mr. Towns stated he will be very involved with the project and has encourage the neighbors to speak with him directly to address immediate problems as they arise as well as work with WEGO for additional enforcement. He further stated that he cannot afford to pay for an office to remain on-site throughout the project, but did again reiterate his commitment to self-police his contractors. Mr. Matson commented the safety issue can be mitigated through the types of contractors that are utilized for projects. Mr. Towns stated his company has mandatory pre-con meetings whereby the overall "ground rules" are set for the contractors. Mr. Matson there needs to be a very detailed plan to make it clear the sensitivity of the site as a whole, especially as it relates to the existing neighbors.

Mr. Hatton next spoke of his experience living adjacent to a pair of construction projects and the impacts of equipment and trucks going in and out of the sites. He specifically spoke of the issues of large vehicles accessing these sites and how they interact on the public road. He suggested there should be warning signage and/or a flagger to make it safer for vehicles to access these sites. Mr. Towns stated he expects the majority of the vehicles accessing the site to come from the east and not the west from South New Street.

Mr. Pomerantz asked if the proposed homes will use stucco. Mr. Towns indicated they will be using it for the homes. Mr. Pomerantz noted several other developments where stucco was used and failed resulting in substantial repair costs to those residents and asked what Southdown Homes does to prevent this from occurring. Mr. Towns stated all of their homes have a ten year warranty and that they have contractors' specifically trained in the installation of stucco and that in his experience they have had only one significant issue with stucco.

Mr. Hatton next asked if the proposed landscaping had been modified to address the concerns with headlights impacting the property at 22 Robins Nest Lane. Mr. Eberwein stated this will be addressed prior to the next meeting. Matt Kelly of 22 Robins Nest Lane discussed a potential secondary access driveway to Robins Nest Drive as at present it can only be accessed from 202. Mr. Kelly stated a concern with the odd shape of the piece of ground that connects back to Robins Nest and if it is wide enough for a driveway. Mr. Eberwein stated there is adequate ground to construct a potential driveway. Mr. Kelly asked if a condition of approval could be considered to require the applicant to construct a driveway access back to Robins Nest Lane as to provide a safe and alternative access from 202.

Mr. Matson stated there is no legal requirement to either provide or not provide the access, and that the issue is simply a planning issue. He suggested that if the grading could work, then it would improve a safety issue, but that this is a very unique situation that has not been experienced with previous applications. Mr. Towns stated he is not opposed to providing the access via an easement, but that he is opposed to physically constructing it. He further stated any agreement would also place the burden on maintenance and construction on the grantees of the easement and not the Township or HOA. Mr. Matson stated that PennDOT cannot close an access if they cannot provide for an alternative access. Mr. Patriarca stated he feels providing a manner to provide access is good planning, and that if the PC is favorable to its inclusion should include in its recommendation a requirement for an easement to allow for it.

Excerpts from the December 7, 2016 PC minutes

Westtown Woods (1010 Wilmington Pike)

Mr. Pomerantz started the discussion with Southdown Homes and their consultant team on their rezoning and subdivision land development application for a proposed 15 home residential development to be accessed off a new road connecting into Jacqueline Drive on the property located at 1010 Wilmington Pike (UPI 67-4-9). Mr. Pomerantz then noted a member was absent and that if a motion results in a tie vote and thus a negative recommendation per the PC by-laws.

Tim Townes representing Southdown Homes started the discussion with Mr. Matson about

outstanding items in his most recent review letter. Mr. Towns first presented a notice that he will include was part of all preconstruction meetings with all contractors a flyer outlining expectations and codes of conduct for how they are expected to operate throughout the construction process. Mr. Pomerantz stated there should also be included language noting that many children are in the area and Mr. Patriarca stated language should be added to encourage use of Jacqueline to 202 and not New Street by contractors accessing the site from Jacqueline.

Mr. Matson started the conversation first by stating he would focus on the outstanding issues and not the waiver requests as they were all thoroughly discussed and evaluated by the PC at their November 9 meeting. Mr. Hatton first asked what the developer does to inform their buyers of the restrictions in what can and cannot be placed in areas that have below-grade stormwater facilities. Mr. Towns stated as part of homeowners' contracts, they include a plot plan that is signed off on by the buyer as well as explained the limitations on how the property in these areas may be used. Speaking to the issue of Chester County Conservation District (CCCD) approval, Mr. Matson noted there is an initial meeting setup and is an ongoing third party issue that will ultimately be resolved by the CCCD.

Mr. Matson noted in existing Township ordinances, some references are made to outdated technologies utilized as part of contemporary road construction. He noted the pavement sections illustrated on the plan have been revised accordingly, but also asked the applicant to revise other areas to reference superpave material and the applicants' engineer Andy Eberwein agreed to this request. Mr. Matson next discussed the graphic representation of the curbing as it relates to the ROW as a whole. Mr. Eberwein produced a detail that illustrates this cross-section to graphically depict the ROW inclusive of the curbing. This was done as it is near impossible to identify this on the actual plan set at the scale provided. Mr. Matson stated he is generally fine with the additional detail as it does adequately illustrate what the completed segment will look like. Mr. Yaw asked if the wall maximum height is proposed to be eight feet and Mr. Eberwein did confirm this as well as its setbacks from the neighboring property lines.

Mr. Matson next discussed the proposed 202 construction access. He referenced a meeting held in October on the issue as well as subsequent meetings held with WEGO and noted the number of conditions required by PennDOT. Specifically it was stated the access will only be permitted for the placement of heavy equipment on-site late at night on weekends. Mr. Eberwein further stated that they will only be allowed to enter from the 202 access only when accompanied by WEGO as part of their agreement. Mr. Rodia asked how long this access will be utilized and Mr. Towns stated it will be less than six months. Mr. Patriarca stated that any access must be permitted by PennDOT and will only be for heavy equipment associated with the initial site work, and once this work is completed the 202 access will be closed and the Jacqueline Drive access will be the only access to the site. Mr. Eberwein further stated he had developed an alternate plan for only the utilization of the Jacqueline Drive access in the event PennDOT does not approve the 202 access. Mr. Pomerantz then reiterated what the 202 access would entail. Mr. Towns concluded by expressing his confidence that the 202 access would ultimately be approved with the strict conditions proposed by WEGO. Mr. Hatton requested that notice be given to the neighboring property owners prior to the nights when equipment is dropped off on-site.

Mr. Matson next spoke to the issue of the retaining wall. He stated a request had been made by

the Township Manager that consideration be given for a reinforced concrete wall in lieu of the segmental block wall as proposed. The reason for this is with the long term maintenance of the walls and if maintenance easements are unable to be acquired, and a desire to have something more long-lasting than segmental block. Mr. Towns stated he could not commit one way or the other on this as he was unsure of the total costs for reinforced concrete, and further stated that he does not believe there is a long-term maintenance concern with the use of segmental block over reinforced concrete. Mr. Eberwein stated that maintenance of segmental block walls is from the top down and thus do not necessitate large easement areas in order to adequately maintain them. He then described how a block wall is constructed with all of the pieces tied together to create a singular structure. Mr. Eberwein then stated that PennDOT does not require cast in place, reinforced concrete walls for these types of uses, but will accept block walls as well.

Mr. Towns then asked about the possibility of a waiver request to reduce the pavement width slightly in the Jacqueline Drive access to afford additional areas to the east and west to allow for wall maintenance. Mr. Matson stated his concern with a reduction in pavement width at this location as it relates to emergency services. Specifically he stated that as there is not a secondary emergency access proposed with this site, reducing the width at the entrance could be problematic at a future date. Mr. Patriarca stated in his view that if the applicant can demonstrate that there is no difference between reinforced concrete versus segmental block with regards to long-term maintenance, then the PC can make their recommendation accordingly. Mr. Lees stated aesthetically, the segmental block wall may be preferable to one of reinforced concrete.

Mr. Pomerantz then asked about the willingness of Southdown to assume responsibility for the repairs of any damage to Jacqueline Drive resulting from their construction. Mr. Towns stated he expected this to be a part of their development agreement and stated they will be photographing the roads prior to construction and work with the Township at the end of their project to address damage incurred as part of their work.

Mr. Pomerantz noted for the project to be constructed it requires a zoning change. As such he asked Southdown to give sincere consideration for not just providing the easement, but also provide for some of the costs of construction of a driveway access back to Robins Nest Lane. Mr. Towns again reiterated their willingness to provide for an easement, and did state they will reevaluate the overall cost of this in relation to the project as a whole. Mr. Hatton reiterated this point as well and asked for Southdown to consider providing some assistance to the ultimate construction of this driveway access.

Mr. Rodia asked if the proposed landscaping plan had been modified to address Mr. Kelly's concern with headlights impacting his property. Mr. Eberwein stated that evergreens are proposed to be planted outside of the ROW, but closer to the street to provide for enhanced screening of headlights from the property in question. Mr. Matson asked if Southdown is agreeable to a condition to require additional trees as determined in the field, and they did state they are amenable to this.

After the applicant asked the PC to consider a recommendation that makes a condition on the issue of the access road wall, Mr. Pomerantz stated the policy of the PC is for a "clean sheet" in

order to make a recommendation, but agreed to poll the remainder of the PC on whether or not to make a recommendation. After discussion, all five other PC members desired to withhold a recommendation until the wall issue.

Doug Anderson – 606 Jacqueline Drive: Mr. Anderson stated the proposed development of half acre lots is not consistent with the surrounding neighborhood of one acre lots. He further questioned how the proposed development adds to the existing community and should be considered as part of its evaluation. Mr. Anderson finally stated his concern with construction traffic and its impacts on Jacqueline Drive throughout the duration of the proposed project.

Matt Kelly – 22 Robins Nest Lane: Mr. Kelly asked first if there are required setbacks for roads and stormwater facilities. Mr. Patriarca stated there are no setbacks for roads or subterranean structures prescribed within existing Township ordinances. Mr. Kelly expressed his concern with the closeness of a road to his property. He next spoke of concerns with areas that were not be considered as wetlands after site visits. Mr. Eberwein stated the area is not classified as a wetland, but rather waters of the commonwealth. He further stated they do not fall under some DEP regulations as a result of the smaller drainage area, but that they do conform to the Township requirement of a 75 foot setback from the top of streambank. Mr. Matson followed with an overview of how this issue was evaluated by McCormick Taylor and that the plan does conform to requirements for development in wetlands.

Mr. Kelly next asked at what times construction will be allowed for the development. Mr. Patriarca stated no construction is allowed on Sundays or outside the constraints of the Township noise ordinance. He further stated more restrictive hours of construction can be imposed by the BOS as part of the final developers agreements established between the Township and Southdown. Mr. Kelly next asked about the issue of an emergency access and noted a driveway access to Robins Nest Land could serve in this function. Mr. Patriarca stated there is no specific requirement, but that both the fire company and police had reviewed the application and did not express concerns that there was not one proposed.

Excerpts from the January 4, 2017 PC minutes

Westtown Woods (1010 Wilmington Pike)

Mr. Pomerantz started the discussion on the proposed Southdown Homes rezoning and subdivision land development application for a proposed 15 home residential development to be accessed off a new road connecting into Jacqueline Drive on the property located at 1010 Wilmington Pike (UPI 67-4-9). Mr. Patriarca stated that Mr. Towns was out of town, but suggested Mr. Matson lead a discussion on the type of wall to be utilized for the proposed access road from Jacqueline Drive.

Mr. Matson stated he spoke with several structural engineers on this issue, and that they stated that a segmental block wall could be utilized for this type of road. He further stated that PennDOT would approve this type of wall for this type of road as well and cited PennDOT reference material. Mr. Matson stated that he also spoke with the applicant and that he stated that the costs difference was minimal and it seemed that Mr. Towns would be open to constructing a reinforced concrete wall. Mr. Matson stated this type of wall would add a level of assurance for longer-time maintenance for the Township. Mr. Matson stated he would not object

to the construction of a reinforced concrete wall as a potential condition of approval.

Mr. Pomerantz noted that additional costs associated with the construction of the wall may impact the willingness of the applicant to construct a driveway back to Robins Nest Lane. Mr. Matson reiterated the reaction of the applicant to the construction of a concrete wall as not being overly-costly. Mr. Rodia asked what the additional cost for concrete would be, but Mr. Matson did not have an exact number for this increase. Mr. Rodia noted that the increased cost of the wall may negatively impact the willingness of the applicant to construct a driveway to Robins Nest Lane. Mr. Hatton also echoed this sentiment and prioritized providing the access back to Robins Nest Lane. Ms. Adler asked if it would be preferable to have the driveway completed at the time of construction to which there was a consensus this would be the preference if it were to be constructed.

Mr. Hatton noted in addition to those proposed conditions outlined in a memo from Mr. Patriarca, he would also like to see consideration for additional conditions to address traffic concerns going west on Jacqueline Drive, that notice is given to adjacent properties when night deliveries are to occur and limits on hours of construction inclusive of Saturdays and lighting. As the applicant was not present, Mr. Pomerantz suggested that action be held until such a time the applicant was in attendance at a meeting.

Jim Cahill – 9 Jacqueline Drive: Mr. Cahill stated in his research in segmental block and concrete walls and noted the pros and cons of each. He stated he is in favor of the block wall and noted that much larger block walls have been utilized in the area such as the one at the Bradford Plaza shopping center. From a standpoint of overall aesthetic, Mr. Cahill stated Southdown has indicated a willingness to plant evergreen trees to help screen the wall regardless of type. He further indicated there may be consideration for stone vainer on a concrete wall. Specific to the ROW itself, he spoke of concerns with easements and noted the proposed concrete culverts that will keep water from backing up on his property. Mr. Cahill then spoke of the issues he is having with Verizon and their easement that traverses a portion of his property. Mr. Cahill concluded by stating he is in favor of the development overall and has appreciated the openness of Southdown throughout the process.

Mr. Pomerantz then asked Mr. Matson what his recommendation would be for the type of wall to be utilized for the access road. Mr. Matson stated he understands the benefit of concrete wall as a result of its long-term lifespan, maintenance, and reliability as compared to the block wall. These maintenance issues are what sets it apart from the block wall, but does understand why the block wall was proposed by the applicant as a result of the relatively light amount of traffic that will utilize the new road.

Mr. Yaw next asked about the status of the proposed construction access off 202. Mr. Matson stated that he has not seen any update from PennDOT on this issue to date. He further stated that the applicant has committed to illustrate an alternate approach to the site from Jacqueline Drive for construction in the event PennDOT does not permit the limited 202 access. Mr. Pomerantz then stated he would like as a condition of approval for the notice to contractors be very stark and describe consequences if they fail to safely access the site from Jacqueline Drive.

Jim Cahill – 9 Jacqueline Drive: Mr. Cahill spoke of his thought to the PennDOT issue for them to allow Southdown to utilize concrete jersey barriers to safely allow vehicles to access the site from 202. He further spoke of his overall concerns with PennDOT. Specific to Jacqueline Drive, he spoke of the on-going speeding and truck traffic issues impacting the thoroughfare.

Doug Anderson – 606 Jacqueline Drive: Mr. Anderson stated he does not see Southdown as being a professional company as they failed to attend the meeting to discuss their project. He further stated noted the applicant is asking for a zoning change and questioned why the application is being considered as their project will add traffic, construct homes on smaller lots and result on the clearing of an existing wooded area. He questioned what Southdown is offering to the Township to make the project more acceptable to the existing residents.

Steve Takoushian – 204 South Deerwood Drive: Mr. Takoushian stated that he does not object to the development, the developer and further noted this is the best proposal he has seen for the development of the property. He then asked if sanitary sewer tie-ins will be afforded to other residents west of 202 as part of their project. Mr. Matson described how the proposed low-pressure sanity sewer system will operate and noted stubs for the line are provided for at both Jacqueline Drive and Robins Nest Lane. Mr. Takoushian then asked if the proposed pip has been sized to allow for additional questions. Mr. Matson stated he was not sure of the total number that could be connected, but that it could allow for additional connections. Specific to his property, Mr. Takoushian asked if any provisions are being made to allow for possible connections from South Deerwood Drive and Mr. Matson stated any additional connections would need to go through sewer planning and design. He then asked the PC would consider a condition of approval supporting reasonable connections to the sewer when feasible.

Jim Cahill – 9 Jacqueline Drive: Mr. Cahill stated that he had spoken with Mr. Townes about sewer connections, and in his case the estimate for connection is about \$15,000. He further stated he has been speaking directly with the Southdown and they have been very open to addressing his issues associated with the road to be constructed adjacent to his home and will be aesthetically pleasing.

Mr. Pomerantz followed by asking what Mr. Anderson would like to see what the Township get out the Southdown project. He stated that he would like to see parkland and/or recreational features as residents west of 202 do not have easy access to Township recreational amenities.

Excerpts from the February 8, 2017 PC minutes

Westtown Woods (1010 Wilmington Pike)

Mr. Pomerantz started the discussion on the proposed Southdown Homes rezoning and subdivision land development application for a proposed 15 home residential development to be accessed off a new road connecting into Jacqueline Drive on the property located at 1010 Wilmington Pike (UPI 67-4-9). Mr. Towns first apologized for the miscommunication and his absence at the January 4 meeting. He stated he has provided a drawing for a reinforced concrete to construct the road access into Jacqueline instead of the original block one. He stated he is fine with the concrete option in spite of its additional cost, and did state it will result in an additional 2.5-3 feet within the access strip for maintenance. Mr. Towns stated that guardrail will be installed atop the wall as well. Mr. Matson stated the proposed concrete wall is

generally acceptable, but would be reviewed in more detail during the building permit phase.

Mr. Lees asked for a status on the 202 construction access and Mr. Towns stated their team is in agreement with what the WEGO Police will require for this access and that PennDOT has not responded to their resubmittal. He further speculated that PennDOT may not comment further on the temporary nature of the use, but that he will be following up with them on this issue. Mr. Matson stated he was disheartened with the lack of PennDOT response on this issue. Mr. Pomerantz asked how much of a cost difference between the concrete and block wall, and Mr. Towns stated the difference is an additional \$14,000 for the concrete one.

Mr. Matson next led the PC through the final waiver requests and stated his position on the ten waivers has not changed since the previous meeting. His reasons for not objecting to the waivers are as follows:

- §149-901.F – Stated the increased cul-de-sac distance is de minimis
- §149-600 – Stated was commonplace and administrative
- §149-920.B – The smaller width easements were acceptable due to site geometry and overall blanket easements across the site
- 144-311.B.2 – Wavier is partial with concrete pipes required within ROW and HDPE pipes allowed outside of the ROW requiring the partial waiver
- §149-910.B – Waiver necessary as a result of the wall placement in the ROW back to Jacqueline
- §149-924.D – Plan revised to have all required street trees outside ROW
- §149-925.H – As a result of his conversations with tree suppliers indicating a lack of 3.5” caliper trees, he does not object to the proposed 2.5” caliper in conjunction with necessary bonding
- §149-925.I – Due to the lot geometry
- §144-306.K.2 – He worked out the technical details with the project engineer and is comfortable with the request
- §144-306.K.3 – Same as above

Specific to other third party reviews, project engineer Andy Eberwein stated the Conservation District review is ongoing, and that they have addressed the Carroll sewer comments. Next followed a brief discussion of the requirements for the potential use of the 202 access for initial construction. He further stated the Jacqueline Drive access will be utilized for the actual home construction and the 202 access closed. Mr. Patriarca stated the PC should consider a condition to require Southdown to notify the neighboring properties the times when they will making delivery. He further stated notification should be given from Southdown to their subcontractors on the safety concerns for use of Jacqueline Drive.

Mr. Matson stated the change in the wall to concrete, the PC may want to consider the overall aesthetics of it as compared to a block wall. He asked if there are options beyond a plain concrete wall to Mr. Towns that may include stamped concrete, injected ink, etc. Mr. Towns stated these types of issues can be evaluated further but stated his belief that a different treatment will not have any significant impact on it appearance. Mr. Hatton noted that PennDOT has made efforts to “beautify” their concrete infrastructure, but Mr. Towns stated the structures PennDOT does in this manner are precast instead of poured in place as they are proposing

which makes it more difficult to add aesthetic elements. He further stated that additional aesthetic elements placed on the wall will ultimately be the responsibility for the Township to maintain assuming the road is dedicated and suggested that the planning of additional trees in the area of the wall may be more appropriate.

Mr. Hatton noted that an easement is proposed to provide for a driveway access back to Robins Nest Drive. Mr. Towns stated this driveway and stormwater management will cost an estimated \$21,000 to complete. Mr. Hatton stated he believes Southdown should be responsible for the grading of this driveway as part of their overall site work. Mr. Towns then stated his concerns with the completion of this proposed driveway access. He first stated his concern with commercial vehicles from Robins Nest utilizing the driveway and not solely smaller vehicles. He further stated he has provided a draft easement agreement that requires agreement of the residents of Robins Nest for both construction and long-term maintenance of the driveway. Further he stated he will require a sunset provision requiring completion of the driveway prior to the completion of homes on either of the adjoining lots.

Mr. Patriarca stated he did not disagree with the sentiment of limiting commercial vehicle use of the proposed driveway as part of the easement agreement. He noted the initial discussion was for this to provide for a safe alternative access to Robins Nest, not necessarily a new, full access.

Mike Rock – 18 Robins Nest Lane: Mr. Rock stated the proposed driveway access area is unacceptable as the proposed turns within it would not allow for commercial or recreational vehicles to pass as well as present difficulty for a standard vehicle. He further noted in the initial plan, the proposed easement area for a driveway was straight as opposed to what is proposed now.

Mr. Towns stated PennDOT cannot eliminate their 202 access without the provision of new access and just compensation. He further suggested the proposed easement may negatively impact negotiations with PennDOT in the event they do approach owners along Robins Nest on their 202 access. Mr. Rock stated a PennDOT proposal from the 1990s would have resulted in condemnation of some of their properties as well as eliminate access to 202. Mr. Rock reiterated the current residents of Robins Nest will need to access the proposed driveway with larger vehicles as a result in part of their livelihoods.

Mr. Matson stated he is unaware of any current PennDOT proposals to close 202 access for Robins Nest. He further suggested there is some agreement in place with all property owners along Robins Nest for its ongoing maintenance. Mr. Matson further stated the proposed driveway has never been formally engineered on the various plan sets and that his understanding was for this to serve as alternate access for Robins Nest only. He stated the more he thinks about the access, the more he questions its more intense use. Mr. Yaw asked if the proposed easement has been shared with the neighbors and he stated it has not yet. Mr. Towns stated he has not approached the neighbors on this in a formal sense yet and stated his concerns with providing for it. Mr. Lees asked if there is a current easement, and Mr. Towns stated there is not but that a notch of their property does access Robins Nest.

Matt Kelly – 22 Robins Nest Lane: Mr. Kelly stated the strip to Robins Nest exists with the

intention to one day provide access to Jacqueline at such time the property developed. He then stated the proposed configuration of the easement was unacceptable and noted that Mr. Matson had previously supported the concept as good planning prior to the meeting. Mr. Kelly reiterated what is being discussed is only a driveway and not a full road access and that the residents will handle all maintenance of the driveway. He noted damages to Robins Nest as well as on-going issues with the neighboring WCU property.

Specific to the 202 access, Mr. Kelly stated that PennDOT could close it at any time citing safety issues. He stated that the project will dramatically alter the nature their neighborhood and cannot understand why a usable easement cannot be granted to help those residents along Robins Nest. Mr. Kelly stated Southdown should be required complete the driveway as part of the overall project. Mr. Kelly stated the turns should be at least 45 degrees to allow for larger vehicles to access the driveway and that it should not be restricted for its use.

Mr. Towns stated the proposed driveway will provide access for standard vehicles, but he feels no responsibility for having to size it for larger vehicles. He further noted the genesis of the plan and how the geometry of the access strip has changed as a result of the plan being refined further. He then asked if they are asking him to remove a lot to accommodate the driveway as they would like to see it and the residents stated yes citing how the proposed development will negatively impact their existing homes. Mr. Yaw asked if Lot 11 could be reconfigured to make the turns for the driveway 45 degrees. Mr. Matson stated it could, but would have a ripple effect on several other lots. Mr. Eberwein stated he could move the lot maybe five feet, but that if larger vehicles cannot use it then they still have access to 202. Further he stated the PennDOT cannot close the 202 access without just compensation.

Mr. Lees asked Mr. Rock would be open to providing an easement across the southeast corner of his property to reduce the curves of the driveway, and Mr. Rock stated he was not interested in such a proposal and the additional ground should come from Southdown. Mr. Matson reiterated he is unaware of PennDOT simply closing access and that if the driveway was solely an alternative access he supports it, but not for anything more intense. He recommended the current agreement among homeowners along Robins Nest be amended to include the driveway and restrict the use to smaller vehicles. Mr. Patriarca stated he does believe a secondary access to Robins Nest is a good idea. He noted the genesis of the current alignment and given the constraints of the site limited access is better than no access.

Mr. Pomerantz asked as a devil's advocate if more preference has been given to the developer over the residents as a result of the zoning change. Mr. Matson stated in present ordinances and law there is nothing to require such an arrangement. Mr. Patriarca stated the zoning change is discretionary and does not have to be granted by the Township. However he did suggest the PC has seen numerous plans for this site and must make a judgment call on the project as a whole as to whether or not what is proposed makes the most sense for the property. Ms. Adler agreed the secondary access is good planning but that it should be constructed concurrent with the new home construction. Mr. Yaw stated he believes the secondary access as proposed is better than no access. He further stated he does not believe it is the builders' obligation to construct it. Mr. Lees again asked for consideration of straightening the driveway through the neighboring property, and Mr. Rock again stated he was not interested in using his property for the driveway.

Mr. Hatton stated the driveway should be built and believes the zoning change is cause to require Southdown to complete the driveway. Mr. Pomerantz also echoed this sentiment. Mr. Towns stated he has not shared the draft easement with the neighbors as of yet as he has received mixed-signals from the Township with the manager stating his opposition to it. Mr. Yaw stated the PC can move forward as the PC is not making the terms of the easement. Mr. Pomerantz asked what the average home price will be and Southdown stated \$525,000 with higher end models closer to \$600,000.

Ms. Adler made the following motion that was seconded by Mr. Lees:

The Planning Commission recommends the Board of Supervisors rezone the areas specified on the plan for Westtown Woods from C-2 Highway Commercial District to R-2 Residential District.

Mr. Pomerantz allowed for public comment on the motion.

Doug Anderson – 606 Jacqueline Drive: Mr. Anderson commented the proposed lots are inconsistent with the surrounding one acre lots west of 202. He then stated a concern with construction traffic and that stop works orders be considered for violations. Mr. Anderson also questioned how long the development will take to complete. He concluded by stating he does not believe the developers is providing the community with anything to allow for the zoning change.

Matt Kelly – 22 Robins Nest Lane: Mr. Kelly stated if the zoning is granted it should be conditional inclusive of the completion of a driveway to Robins Nest and that its use should not be restricted.

Mr. Towns noted their lots will be deed restricted and not allow for the keeping of commercial trucks on-site. Specific to how the construction site should be operated, Mr. Whitig stated they should be held to the same standard as any other builder. Mr. Towns questioned how he can police his subcontractors at all times and encouraged the police to enforce all applicable traffic laws. Mr. Pomerantz stated his concern is with his inability to control his subcontractors. Specific to who should be responsible for the construction of the driveway, the PC decided 4-2 it is not the responsibility of Southdown to construct. Mr. Yaw stated his belief the quid pro quo is the provision of the easement and does not think the responsibility for its construction should fall to the developer. Ms. Adler and Mr. Whitig further stated the rezoning from commercial to residential does allow for the most complimentary development of the property that is not commercial in nature. Mr. Hatton agrees the plan presented has been the best presented for the property, but the developer should pay for the driveway. Mr. Yaw and Mr. Kelly then had a dialogue on the proposed driveway and easement.

The motion for the zoning change passed 4-2 with Mr. Hatton and Mr. Pomerantz voting unfavorably on the motion.

With the zoning issue resolved, the PC then discussed issues relevant to the subdivision application and requisite conditions. Mr. Patriarca first stated there should be one relevant to the ten waiver requests.

The PC is in concurrence with Mr. Matson's letter relevant to the ten waiver requests with additional an additional condition placed on the one from §149-925.H to require additional escrow to ensure the survival of the trees planted at a smaller caliper. The PC offered no further comments on the waiver requests.

Specific to the conditions of approval, the PC offered support for the utilization of the existing 202 access for the staging of equipment associated with the overall site work subject to the conditions imposed by WEGO Regional Police and PennDOT as well as formal notification to all adjoining property owners a minimum 24 hours in advance of accessing the site from 202.

Specific to the proposed easement to Robins Nest, the PC supports the offer of an easement through open space to serve as an alternate access to Robins Nest Lane. How the easement is developed will be subject to agreement between the third parties and consideration should be given to the timing of its construction as to be concurrent with the construction of adjacent homes. Mr. Yaw further stated if the easement is granted, a note should also be added to the plan indicating its general alignment and location.

Mr. Pomerantz then added a condition the Southdown provide for a flyer to provide to all of their subcontractors, utilizing the starkest possible language, to the danger of driving and causing a safety issue along Jacqueline Drive.

Finally the PC stated as a condition of approval additional landscaping shall be required in the vicinity of the proposed wall associated with the road connection back to Jacqueline Drive as to serve as a vegetative screen.

Ms. Pomerantz made a motion to approve the subdivision and land development application subject to the previously discussed conditions of approval that was seconded by Mr. Lees and was approved 6-0.

After the approvals were granted Mr. Pomerantz stated his concern with the PC being in a position when the applicant has been given an opinion by the Township Manager on an item before them, and not just procedural guidance on the process as a whole. Mr. Patriarca stated he will advise Mr. Pingar of this concern on behalf of the PC.

PREPARED BY & RETURN TO:
Southdown Homes, L.P.
Att: Timberlake M. Townes
55 Country Club Drive, Suite 200
Downingtown, PA 19335

UPI Nos. Part of 67-4-9, 67-4.8.1, 67-4-9.6, 67-4-9.1 and 67-4-9.7

EASEMENT AGREEMENT

THIS INDENTURE is made and entered into as of February ____, 2017 by and between **SOUTHDOWN HOMES, L.P.** a Pennsylvania Limited Partnership ("Grantor") and Michael and Donna McCorkle (UPI No. 67-4-8.1, 16 Robins Nest Lane), Michael and Sharon E. Rock (UPI No. 67-4-9.6, 18 Robins Nest Lane), Barbara C. Bentley (UPI No. 67-4-9.1, 20 Robins Nest Lane) and Matthew J. Kelly (UPI No. 67-4-9.7, 22 Robins Nest Lane) ("Grantees").

BACKGROUND RECITALS

A. Grantor is the owner in fee simple of certain land with the improvements thereon, if any, situate in Westtown Township, Chester County, Pennsylvania, being Tax Parcel #67-4-9.

B. Grantees are the fee simple owners of properties located along Robins Nest Lane, a private lane, Westtown Township, Chester County, Pennsylvania.

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1.00) in hand paid by Grantee to Grantor at or before the execution and delivery of this instrument, and for other good and valuable consideration, the receipt, sufficiency and adequacy of which is hereby acknowledged by Grantor, and intending to be legally bound hereby, the parties agree as follows:

1. Easement of Access. For good and valuable consideration, as aforesaid, Grantor has granted, bargained and sold, released and confirmed, and by these presents does hereby grant, bargain and sell, release and confirm unto Grantee, its successors and assigns, the perpetual, free, irrevocable and uninterrupted right, liberty, privilege and easement over, across, on all that certain strip of land, as shown on Exhibit "A" attached hereto and made a part hereof (the "Access Easement Area"), for the benefit of Grantees, their successors and assigns, and their guests, tenants, subtenants, invitees and other persons lawfully using the same, as and for a means

of vehicular access for non-commercial vehicles, together with the right and obligation on the part of Grantee to construct, lay and install within the Easement Area a stormwater management facility and erosion control devices as required by Westtown Township and the Chester County Conservation District, together with the obligation of Grantee, to repair, maintain, reconstruct, otherwise do all things necessary or convenient for the proper use and enjoyment of such access easement and under and subject, nevertheless, to the obligations of the Grantees, and Grantees' successors and assigns, to pay for the costs of repairs and maintenance of the access drive as hereinafter more fully set forth.

2. Construction and Maintenance of Improvements. The costs of constructing and installing any stormwater management facilities, erosion control devices, grading, stone, and asphalt including the obligation to design and apply for any and all permits and approvals necessary to commence and complete the contemplated work within the Access Easement Area shall be borne by the Grantees. The costs of maintaining, re-constructing, replacing any structure, within the Access Easement Area shall be borne by the Grantees. Grantees shall be required to produce a Maintenance agreement executed by all Grantees setting forth the means and methods for the funding of construction and maintenance of the driveway and appurtenances within the easement area by the Grantees. This document must be in a recordable form and shall be approved by the Township of Westtown.

3. Non-Interference. Neither party hereto shall interfere with the use and enjoyment of the rights and privileges herein granted to or reserved by the other party hereto. Neither Grantor nor Grantee, nor their respective successors or assigns, shall construct or permit to be constructed any structure or obstructions on or over the Access Easement Area, or that will interfere with the construction, maintenance or operation of the other appurtenances which may be constructed thereon pursuant to the rights and easements granted to or reserved by the respective parties herein.

4. Warranty. Grantee shall have and hold all and singular the privileges and easements granted herein unto Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns. Grantor hereby covenants and agrees for itself and its successors and assigns to warrant and forever defend the above-described easements, rights and privileges granted unto Grantee, its successors and assigns, against every person or persons whomsoever lawfully claiming or to claim the same or any part thereof by, from or under Grantor, its successors and assigns, or any of them, under and subject, nevertheless, to any easements, rights and restrictions, if any, affecting Tax Parcel # 67-4-9 and now appearing of record.

5. Easements Running with the Land. The easements, rights and privileges herein granted by Grantor to Grantee shall terminate and extinguish:

- 1) if the maintenance agreement described in paragraph (2) above is not completed within three (3) months of the recording of this Access Easement Agreement, and
- 2) if the Maintenance Agreement is completed and recorded in the Office of the Recorder of Deeds

Chester County, as described herein; the access driveway must be completely constructed within two (2) months (weather permitting) of notice to install being given by Grantor to Grantees to install the access driveway.

If Grantees fail to develop and record the Maintenance Agreement or construct (weather permitting) the access driveway within the required time frames spelled out herein, this Agreement and the easements, rights and privileges granted herein to Grantees and reserved herein shall terminate and expire.

Upon satisfactory completion of the items described above (the Maintenance Agreement and Access Driveway construction) this Agreement and the easements, rights and privileges granted herein to Grantees and reserved herein unto Grantor shall run with the land, described herein as Tax Parcel # 67-4-9 and shall be binding upon and inure to the benefit of Grantor and Grantee, and their respective heirs, personal representatives, successors and assigns, in perpetuity.

SIGNATURE AND NOTARY PAGES TO FOLLOW

DRAFT

IN WITNESS WHEREOF, the parties hereto, for themselves and their respective successors and assigns, have executed this Easement Agreement as of the day and year first above written.

GRANTOR:

Southdown Homes, L.P.,
a Pennsylvania limited partnership
By: Southdown Properties, Inc.,
a Pennsylvania corporation

WITNESS: _____

By: _____
Adam R. Loew, President

DRAFT

GRANTEES:

(Address: 16 Robins Nest Lane,
UPI No. 67-4-8.1)

WITNESS: _____

By: _____
Michael McCorkle

WITNESS: _____

By: _____
Donna McCorkle

GRANTEES:
(Address: 18 Robins Nest Lane,
UPI No. 67-4-9.6)

WITNESS: _____

By: _____
Michael Rock

WITNESS: _____

By: _____
Sharon E. Rock

GRANTEES:
(Address: 20 Robins Nest Lane,
UPI No. 67-4-9.1)

WITNESS: _____

By: _____
Barbara C. Bentley

GRANTEES:
(Address: 22 Robins Nest Lane,
UPI No. 67-4-9.7)

WITNESS: _____

By: _____
Matthew J. Kelly

DRAFT

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF :

On this, the _____ day of _____, 2017, before me the undersigned a notary public for the Commonwealth of Pennsylvania residing in the County of _____, personally appeared _____ who acknowledged him/herself to be the _____ of Southdown Properties, Inc., a Pennsylvania corporation, sole general partner of Southdown Homes, L.P., a Pennsylvania limited partnership and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained upon full and due authority.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF :

On this, the _____ day of _____, 2017, before me the undersigned a notary public for the Commonwealth of Pennsylvania residing in the County of _____, personally appeared _____ who acknowledged him/herself to be the _____ of _____ and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained upon full and due authority.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF

:

On this, the _____ day of _____, 2017, before me the undersigned a notary public for the Commonwealth of Pennsylvania residing in the County of _____, personally appeared

_____ who acknowledged him/herself to be the _____ of _____ and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained upon full and due authority.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public
My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF

:

On this, the _____ day of _____, 2017, before me the undersigned a notary public for the Commonwealth of Pennsylvania residing in the County of _____, personally appeared

_____ who acknowledged him/herself to be the _____ of _____ and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained upon full and due authority.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

My Commission Expires:

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF

:

On this, the _____ day of _____, 2017, before me the undersigned a notary public for the Commonwealth of Pennsylvania residing in the County of _____, personally appeared _____ who acknowledged him/herself to be the _____ of _____ and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained upon full and due authority.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

Notary Public

My Commission Expires:

DRAFT



West Chester Fire Department

401 East Gay Street, West Chester, PA 19380

610-696-2700

First West Chester Fire Co.

Good Will Fire Co. No. 2

Fame Fire Co. No. 3

December 5, 2016

Mr. Tim Townes
J. Leow Company
610-873-5585

Mr. Townes,

This letter is in response for the request for approval from the West Chester Fire Department for the Westtown Woods 15 lot sub division plan off Jacqueline Drive and Route 202 in Westtown Township. This letter references prepared utility plans W31 sheet 1 & 2 dated September 20, 2016. The drawings were reviewed and the findings conclude that the proposed street lay out, extension of 8" water main, and fire hydrant locations are acceptable for the safe and adequate firefighting operations and water supply flow rates for the subdivision. Please feel free to contact me for further comment if necessary.

Sincerely,

A handwritten signature in blue ink that reads "Mike McDonald".

Mike McDonald

West Chester Fire Department Chief

610-476-3643

wcfirechief@west-chester.com

11-28-16 REV. LIMITATION & RESTRICTION NOTES

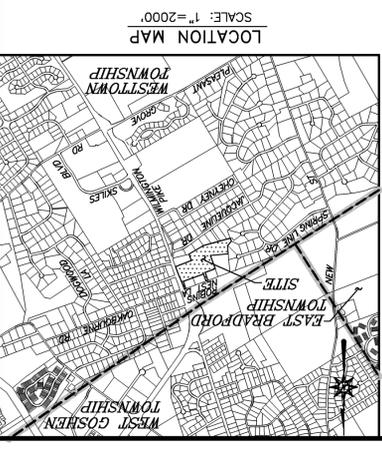
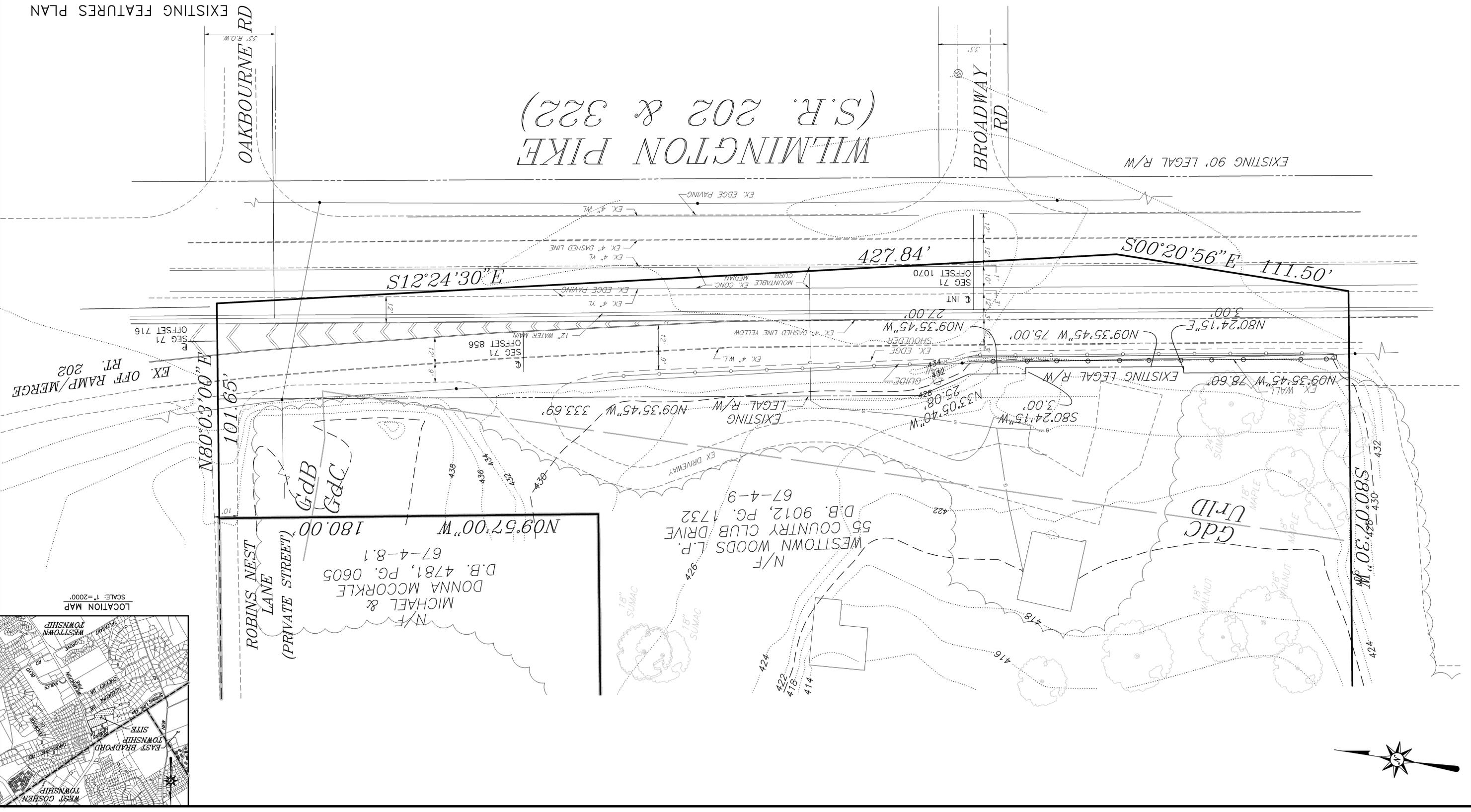
PENNDOT PLAN FOR WESTTOWN WOODS

WESTTOWN TOWNSHIP CHESTER COUNTY, PA

Project: Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS
 LIONVILLE PROFESSIONAL CENTER
 125 Doulin Forge Rd.
 Exton, Pennsylvania 19341
 Phone: 610-903-0060
 Fax: 610-903-0080

Date: 3/17/16
 Scale: 1" = 20'
 Drawn:
 Checked:
 Sheet: 1 OF 2

Plotfile: 11/29/2016 File: F:\JB\4052\4052-81.pro



From: [Andy Eberwein](#)
To: [Hanney, Francis J.](#); [Tim Townes](#)
Cc: rpingar@westtown.org; ["cpatriarca@westtown.org"](mailto:cpatriarca@westtown.org); bbernot@westtownpolice.org
Subject: Construction Access plan
Date: Tuesday, November 29, 2016 5:19:01 PM
Attachments: [4062-B1-H2.PDF](#)
[4062-B1-H1.PDF](#)

Fran; good afternoon. We met with Chief Bernot, Sergeant Kennedy and Rob Pingar of Westtown Township after we received your e-mail of the first go round of this plan. The primary purpose and result of the meeting was the creation of this plan with very specific notes, limitations and restrictions for the use of the existing driveway along Rt. 202 for construction vehicle access during the clearing and rough grading phases of the construction for Westtown Woods. Everyone is concerned about making this access safe to use for large deliveries and construction equipment. Sergeant Kennedy is confident that we can make this work as long as everyone follows the rules. He has reviewed the notes and found them to be acceptable. I have attached the revised plan with the approved and requested restrictions and notes for your review. Please look them over and let us know your thoughts.

Thank you for your continued cooperation with this matter.

If you have any questions or need any additional information please contact me.

Andrew Eberwein
Project Manager/Partner

Edward B. Walsh and Associates Inc.
125 Dowlin Forge Road
Exton, Pa. 19341
610-903-0029
andy@ebwalshinc.com
www.ebwalshinc.com



Carroll Engineering Corporation

November 1, 2016

Chris Patriarca, Director of Planning
Westtown Township
P.O. Box 79
Westtown, PA 19395

Dear Chris:

Subject: Westtown Woods

This office has received plans for the above subject project. This is the third submission to Carroll Engineering Corporation for this project and upon review we offer the following comments.

A. SUBMISSION

1. "Preliminary/Final Plan of Subdivision for Westtown Woods" prepared by Edward B. Walsh & Associates, Inc. for Southdown Properties. The current plan submission consists of 15 sheets dated March 17, 2016 and last revised on September 27, 2016.
2. Response letter to previous plan reviews.

B. GENERAL

1. The plan proposes construction of 15 single family homes on an existing 13.88 acre parcel (UPI 67-4-9). There are also 4 open space parcels to be created.
2. The project is located at Wilmington Pike (SR 202) and Jacqueline Drive in the R-2 Residential and C-2 Commercial districts. The applicant has applied for a zoning change for the portion of the tract in the C-2 district.
3. Sanitary sewer service will be provided by a new pressure sewer system that will connect to the existing sewer system in Broadway Road.
4. A "General Permit – Sewer Extensions and Pump Stations" will be required from the Department of Environmental Protection. The permit application and supporting information should be submitted to this office for review.

Today's Commitment to Tomorrow's Challenges

Corporate Office:
949 Easton Road
Warrington, PA 18976
215.343.5700

630 Freedom Business Center
Third Floor
King of Prussia, PA 19406
610.489.5100

101 Lindenwood Drive
Suite 225
Malvern, PA 19355
484.875.3075

105 Raider Boulevard
Suite 206
Hillsborough, NJ 08844
908.874.7500

5. A Highway Occupancy Permit from the Pennsylvania Department of Transportation is required for the sewer crossing Wilmington Pike. The applicant added segment and offset information along Rt. 202 to the plans as well as the required PATA details. Label PATA details for clarity. Also, show limits of boring in Wilmington Pike and if there is excavation within the PaDOT R.O.W., areas of restoration should be shown on the plans and details provided.
6. An easement plan and legal description for the easement over Lots 7 and 8 should be provided to this office for review. An easement is shown on the Drawings; however, it does not include all of the force main shown on Lot 7. A blanket easement for the connection pits has been noted on the plans.
7. If a Developer's Agreement and/or Escrow Agreement are required, a certified cost estimate of the proposed sewer improvements should be submitted to this office for review and preparation of an escrow certification.

C. SANITARY SEWER

1. The proposed sewer pipe is labeled as pressure sewer, but the legend still indicates force main. Revisions as stated by applicant's engineer have not been illustrated on the plans received by this office.
2. There is a high point on the pressure sewer at 4+70.45 whereby an air release valve is required. Also, note on profile sheet 6 of 15 states, "Pressure sewer continues at min. cover of 4' to ex. MH in Broadway Road". There is no profile shown from station 15+50 to the terminus of the pressure sewer. It appears that another air release valve would be required at the high point in this vicinity.

Should you have any questions or require additional information, please feel free to contact this office.

Very truly yours,

CARROLL ENGINEERING CORPORATION



William N. Malin, P.E.

WNM:cam

cc: Kevin M. Matson, P.E., McCormick Taylor
Edward B. Walsh & Associates